



THIS IS A NEW PROJECT REFERRAL / SUMMARY

DATE: 09/20/2024

TO: ASSESSOR, BUILDING, CAL FIRE, AT&T, CHARTER CABLE TV, AVILA CSD, COASTAL COMMISSION, ENVIRONMENTAL HEALTH, PUBLIC WORKS, PG&E, SOTHERN CAL GAS CO., SHERIFF, AND STORM WATER.

FROM: Jeremy Freund / 805-781-5621 / jfreund@co.slo.ca.us

PROJECT NUMBER & NAME: C-DRC2024-00039 Victor and Randi Montgomery for DP/CDP Mixed Use and ADU

PROJECT DESCRIPTION: A request by Victor and Randi Montgomery for a Development Plan /Coastal Development Permit (C-DRC2024-00039) to allow for a new construction of a new 2-story mixed-use project with a 25-foot maximum height. First floor contains 928 square feet of commercial space and a 448 square-foot ADU with an adjacent carport. Second floor contains a 2,052 square-foot unit connected via elevator to a 577 square-foot, two-car garage. The project will require demolition of an existing two-story 1,522 square foot structure, with decking, existing perimeter fencing and will result in the disturbance of approximately 3,000 square feet on a 0.07 acre parcel. The proposed project is within the commercial retail land use category and is located at 502 First Street Avila Beach, California. The site is in the San Luis Bay Coastal Area Plan of the Coastal Zone.

APN: 076-213-007

Please submit comments within 14 days from receipt of this referral. CACs please respond within 60 days. Thank you. In your response, please consider and/or indicate the following:

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE INDICATE (VIA E-MAIL OR PHONE).

Table with 3 columns: Date, Name, Phone

*All information and/or material provided in the following Referral Package is valid for 90 days after this correspondence. After that time please contact the Project Manager for the most updated information.

COASTAL COUNTY REFERRAL REQUEST
REFERRAL TYPE:

DATE REQUESTED: _____ ASSIGNED PLANNER: _____
PROJECT NAME: _____
PROJECT DESCRIPTION: _____

COUNTY DEPARTMENTS

AG COMMISSIONER	ENV HEALTH	SHERIFF
AIRPORT	HEAL SLO	STORM WATER
AIR POLLUTION CONTROL BOARD (APCD)	LEGISLATIVE ASSISTANT	
ASSESSOR	PARKS	
BUILDING	PUBLIC WORKS	
CAL FIRE/ COUNTY FIRE	ROAD NAMING (TRACT/PARCEL MAP)	

COMMUNITY ADVISORY COUNCILS

AVILA VALLEY ADVISORY COUNCIL	NORTH COAST ADVISORY COUNCIL
CAYUCOS CITIZENS ADVISORY COUNCIL	OCEANO/ HALCYON ADVISORY COUNCIL
LOS OSOS COMMUNITY ADVISORY COUNCIL	VACO
	SOUTH COUNTY ADVISORY COUNCIL

SERVICE PROVIDERS

AT&T	PG&E
CHARTER CABLE TV	SOUTHERN CAL GAS CO.

COMMUNITY SERVICES DISTRICTS

AVILA CSD (INC FIRE)	MORRO ROCK MUTUAL (CAYUCOS WATER)
CAMBRIA CSD (WATER, SEWER, FIRE)	OCEANO CSD
CAYUCOS SANITARY	CAYUCOS BEACH MUTUAL (CAYUCOS WATER)
FIVE CITIES FIRE AUTHORITY	COUNTY SERVICE AREA 10 (CAYUCOS WATER)
GOLDEN STATE WATER (LOS OSOS)	SAN MIGUELITO WATER CO (AVILA)
LOS OSOS CSD	SAN SIMEON CSD

SCHOOL DISTRICTS

COAST UNION JOINT DISTRICT	SAN LUIS COASTAL
----------------------------	------------------

CITIES

ARROYO GRANDE	MORRO BAY	SAN LUIS OBISPO
ATASCADERO	PASO ROBLES	OTHER:
GROVER BEACH	PISMO BEACH	

COUNTY & COUNTY AGENCIES

KERN COUNTY	MONTEREY COUNTY	MONTEREY COUNTY WATER
KINGS COUNTY	MONTEREY COUNTY PARKS	OTHER:

OTHER AGENCIES

ARMY CORPS	NATIONAL MARINE FISHERIES SERVICE
BICYCLE ADVISORY COMMITTEE	SCRS (NATIONAL RES. CONS. DIST.)
BUREAU OF LAND MANAGEMENT	PORT SAN LUIS HARBOR DIST. (AVILA)
CA FISH & WILDLIFE	RWQCB
CAL TRANS	STATE PARKS
COASTAL COMMISSION	STATE LAND COMMISSION
COASTAL SAN LUIS RESOURCE CONS.	US FISH & WILDLIFE
MORRO BAY ESTUARY PROGRAM	OTHER:

OTHER

GEOLOGY REVIEW	OTHER:
AB52	



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1000
04/01/2020

Land Use – Checklist & Application Package

REQUIRED MATERIALS AND INFORMATION

The following information is required to be submitted with your application. If additional information is necessary for application review, Department staff will notify applicants and/or authorized agents. We are now accepting initial application materials in digital format but may request hard copies of documents and plans as necessary review and processing. Digital files should be in PDF format, and in a higher resolution to support digital review of all plan and map details.

FORMS

For applications via the Online Permit Portal: please upload this complete and digitally signed application package PLN-1000 (as detailed below).

Please provide one (1) completed copy of the following form:

- PLN-1000: Land Use Application Checklist & Package.** This form conveniently combines all the following forms into one, and begins with a Checklist of Materials and Information Requirements for Applications
 - GEN-3000: General Application Contact Information
 - PLN-1004: Land Use – Project Information Form
 - PLN-1003: Environmental Description Form
 - PLN-1006: Information Disclosure form
 - PLN-1012: Land Use Consent of Property Owner form (only if applicant does not own the property)
 - PLN-1122: Hazardous Waste and Substances Statement Disclosure (PLN-1122)
- Accessory Application form(s), if applicable.** These forms are not included in this package. Examples include, but are not limited to:
 - Curb, Gutter, and Sidewalk Waiver
 - Tree Removal form
 - Variance Application form

FEES

- Application fee (refer to current [fee schedule](#))

SITE LAYOUT PLAN(S)

For applications via the Online Permit Portal: please upload during initial application submittal. The Department may request up to 4 copies of full-sized hard copy plans for inter-agency review as necessary.

Plans should consist of an accurate drawing of the property, and the site plan must show the following items (where they apply to your site):

- Exterior boundaries and dimensions of the entire site
- North arrow and scale

Land Use – Checklist & Application Package

- Slope contour map (except when a grading plan is required), showing the following:
 - *Inside urban reserve lines* – show contours at 5-foot intervals for undeveloped areas and 2-foot intervals for building sites and paved or graded areas
 - *Outside urban reserve lines* – show contours at 10-foot intervals for undeveloped areas and 2-foot intervals for building sites
 - *Steep slopes* – areas in excess of 30% slope may be designated as such and contours omitted, unless proposed for grading, construction or other alterations
- General location of major topographic and man-made features, such as rock outcrops, bluffs, streams, swales and graded areas
- Location, dimensions, and use of all existing and proposed structures on the property, including buildings, decks, balconies, fences, walls, and other structural elements that extend into yard areas
- Location, name, width, and pavement type of adjacent and on-site streets/alleys
- Existing/proposed curbs, gutters, and sidewalks. Include all points of access, both existing and proposed
- Types and location of existing/proposed water supply and sewage disposal facilities
- Location and dimensions of all existing/proposed easements, driveways and parking areas (enclosed or open), including pavement type
- Location, diameter (at 4 feet above grade), species, approximate canopy cover (dripline) of all trees on the site, noting which will remain and which are proposed for removal, and include proposals for replacement of trees to be removed
- All areas proposed for grading and landscaping
- Any areas proposed to be reserved and maintained as open space
- Location, use and approximate dimensions of all structures within 100 feet of the site's boundaries
- A vicinity map showing precisely how to drive to the site. (include street names and distances to help with describing how to get to the site)
- Coastal Access - If the project is within the coastal zone and located between the ocean and the nearest public road, applications shall include the locations of the nearest public access points to the beach
- Preliminary Floor Plans and Architectural Elevations – showing height of buildings and structures, color, texture and material of exterior finishes and roofing (not required for most agricultural buildings)
- Elevations – (relative height) from the finish floor of the garage or other parking area to the edge of the pavement or road at the driveway entrance
- Legal Lot Verification – how the parcel(s) was/were legally created

Land Use – Checklist & Application Package

SUPPLEMENTAL INFORMATION

The following information may be required, depending on your Land Use application type.

If you had a pre-application meeting and any of these items were indicated, they are required for a complete submittal. For applications via the Online Permit Portal, these can be uploaded with your initial application submittal, or later when your full Plan Case has been created.

- Preliminary Landscaping Plan prepared pursuant to Section 22.16/23.04.180, et seq.
- Fire Safety Plan prepared pursuant to Section 22.52/23.05.080, et seq.
- Preliminary grading/drainage plan – when required by Section 22.52/23.05.020 and .040
- Agricultural buffers – if any adjacent parcels are used for agriculture, show all proposed agricultural buffers
- Archeological Report – two (2) copies, where required
- Biological Report – two (2) copies, where required
- Botanical Report – two (2) copies, where required
- Building Site Envelopes – on site layout plan show all areas proposed for development, or areas proposed to be excluded from development
- Noise Study – two (2) copies, if the property either adjoins or will be a noise generator or a potential source of noise
- Traffic Study – two (2) copies, where required
- Geological Report – two (2) copies, where required
- Visual Analysis – for applications that propose development along significant visual corridors (such as Highways 101 and 1)
- Location, size, design and text of all existing and proposed signs
- Location and design of solid waste disposal facilities, as required by Section 22.10.150/23.04.280
- Cross-section drawings. The drawings shall include two sectional views of the project, approximately through the middle and at right angles to each other. The existing and proposed grades and the location of and distances between buildings, parking and landscaping shall also be provided
- Supplemental Development Statement stating the project’s phasing schedule (if one is proposed), and any information that is pertinent or helpful to the understanding of the proposal, such as photos, statistical data, petitions, etc.
- Water will-serve letter OR Well pump test (4-72 hour)
- Sewer will-serve letter OR Percolation tests
- County Public Works road requirements
- Road Plan and Profile / Culvert Plan and Profile / Streetscape Plan
- Completed Cost Accounting Agreement – one (1) copy
- Abandoned oil and gas wells, if applicable – Information is available from the California Division of Oil & Gas: 195 South Broadway, Suite 101, Orcutt, California 93455, (805) 937-7246
- Other _____



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1004
04/01/2020

Land Use -- Project Information Form

APPLICATION TYPE - CHECK ALL THAT APPLY

- | | |
|---|--|
| <input type="checkbox"/> Emergency Permit | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Tree Removal Permit | <input type="checkbox"/> Surface Mining/Reclamation Plan |
| <input type="checkbox"/> Minor Use Permit | <input type="checkbox"/> Zoning Clearance |
| <input checked="" type="checkbox"/> Conditional Use Permit/Development Plan | <input type="checkbox"/> Amendment to approved Land Use Permit |
| <input type="checkbox"/> Plot Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver | <input type="checkbox"/> Other _____ |

TYPE OF PROJECT:

- | | | |
|---|---------------------------------------|-------------------|
| <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | Mixed-use Project |
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Recreational | ___ Other: _____ |

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable):

Project complies with all applicable property development standards for a mixed-use project.

Describe existing and future access to the proposed project site:

Access to the proposed mixed-use project will continue to be from 1st Street.

SURROUNDING PARCEL OWNERSHIP Do you own adjacent property? YES NO

If YES, what is the acreage of all property you own that surrounds the project site?

SURROUNDING LAND USE What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: residential - duplex South: _____
public parking lot

East: public parking lot West: _____
commercial businesses

FOR ALL PROJECTS, ANSWER THE FOLLOWING - Square footage and percentage of the total site (approximately) that will be used:

Buildings: <u>2,250</u> sq. feet <u>75.0</u> %	Landscaping: <u>10</u> sq. feet <u>0.4</u> %
Paving: <u>740</u> sq. feet <u>24.6</u> %	Other: _____ sq. feet _____ %

Total area of all paving structures: 740 sq. feet acres

Total area of grading or removal of ground cover: 3,000 Xsq. feet ___ acres

Land Use – Project Information Form

Trees:

Number of trees to be removed: 3

Type(s) of tree(s):

palms

Setbacks:

Front 0 feet Back 0 feet Left 0 feet Right 0 feet

PROPOSED WATER SOURCE:

On-Site Well Shared Well ___ Other: _____

Community System (agency / company responsible for the provision of water):

Avila Beach CSD - will-serve letter in progress

WILL-SERVE LETTER?

Yes (If yes, please submit copy)
 No

PROPOSED SEWAGE DISPOSAL

Individual On-Site System
 Other: _____
 Community System (list the agency or company responsible provision):
Avila Beach CSD - will serve letter in progress

WILL-SERVE LETTER?

Yes (If yes, please submit copy)
 No

RESPONSIBLE FIRE PROTECTION AGENCY:

CAL Fire

FOR COMMERCIAL/INDUSTRIAL PROJECTS ANSWER THE FOLLOWING:

Total outdoor use area: 90 _____ sq. feet ___ acres

Total floor area of all structures including upper stories: 2,250 _____ sq. feet

FOR RESIDENTIAL PROJECTS, ANSWER THE FOLLOWING:

Number of residential units: 2 _____ Number of bedrooms per unit: ADU - studio
Upper floor unit - 2 bedrooms

Total floor area of all structures including upper stories, but not garages and carports: 2,250 _____ sq. feet

Total of area of the lot(s) minus building footprint and parking spaces: 2,990 _____ sq. feet



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

GEN-3000
04/01/2020

General Application Contact Information

Staff: Input File Number or File Label Here Please check ONLY ONE of the contacts as the 'Primary Billing Contact' to appear on invoices and receipts			PROPERTY OWNER <input checked="" type="checkbox"/> Primary Billing Contact		
Name: Victor & Randi Montgomery			Name: Victor & Randi Montgomery		
Company:			Company:		
Telephone: (805) 431-7679		Email Address: VMontgomery@rrmdesign.com			
Mailing address: P.O. Box 534					
City: Avila Beach		State: CA		Zip Code: 93424	
APPLICANT <input type="checkbox"/> Primary Billing Contact			AUTHORIZED AGENT <input type="checkbox"/> Primary Billing Contact		
Name: Victor & Randi Montgomery			Name: Pamela A. Ricci, AICP		
Company:			Company: RRM Design Group		
Telephone: (805) 431-7679		Email address: VMontgomery@rrmdesign.com		Telephone: (805) 250-2840	
				Email address: paricci@rrmdesign.com	
Mailing address: P.O. Box 534			Mailing Address: 3765 S. Higuera Street, Suite 102		
City: Avila Beach		State: CA		Zip Code: 93424	
City: San Luis Obispo		State: CA		Zip Code: 93401	
PROPERTY INFORMATION					
Assessor's Parcel Number: 076-213-007		Physical address: 502 1st Street		Total size, in acres: 0.07 acre (3,000 square feet)	
Directions to the property (include landmarks and any gate codes): From US Highway 101, head west on Avila Bach Drive - turn left at stoplight to 1st Street (on left - next to public parking lot).					
Describe current uses on the property (include structures, improvements, and vegetation): Developed with a 1,522 square-foot two-story residential structure built in 1948 with upper floor deck areas. Driveway on north side of site provides 2 off-street parking spaces. Wooden fence around the perimeter of the site. Two large palm trees along sidewalk.					
PROJECT INFORMATION					
Briefly describe the proposed project (include all uses and building heights and areas, in square-feet) and attach supplemental info as necessary: Construct new 2-story mixed-use project with a 25-foot maximum height. First floor contains 928 square feet of commercial space and a 448 square-foot ADU with an adjacent carport. Second floor contains a 2,052 square-foot residential unit connected via elevator to a 577 square-foot, two-car garage.					

Legal Declaration

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

SIGNATURE:

DATE: 9/9/2024

NOTE: Your application is public record and information regarding your application is available both in person and online via the Department of Planning & Building. All references to names, addresses, telephone numbers, email addresses and project details are part of this public record. All applications must be filed under the subject property's owner of record; however, you may use an alternate contact address and telephone number.



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Environmental Description

PLN-1003
01/01/2020

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

1. Answer ALL the questions as accurately and completely as possible.
2. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
3. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
4. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

PHYSICAL SITE CHARACTERISTICS			
Acres with 0-10% slopes: 0.07 acres	Acres with 10-20% slopes:	Acres with 20-30% slopes:	Acres over 30% slopes:
Are there any springs, streams, lakes, or marshes on or near the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____	Are there any flooding problems on the site or in the surrounding area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: <u>Intensive flooding has occurred persistently causing severe damage from faulty facilities at 1st & San Francisco Streets.</u>		
Has a drainage plan been prepared? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please attach a copy.	Has there been any grading or earthwork on the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____		
Has a grading plan been prepared? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please attach a copy.	Are there any sewer ponds/waste disposal sites on or adjacent to the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____		
Are there any railroads or highways within 300 feet of the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____	Can the site be seen from surrounding public roads? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: <u>2-story building in character with neighboring structures.</u>		

Environmental Description

WATER SUPPLY INFORMATION	
What type of water supply is proposed? <input type="checkbox"/> Individual Well <input type="checkbox"/> Shared Well <input checked="" type="checkbox"/> Community Water System	What is the proposed use of the water? <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential If non-residential, please describe: <u>Ground floor</u> <u>commercial space proposed.</u>
What is the expected daily water demand associated with the project? _____	How many service connections will be required? <u>3</u>
Do operable water facilities exist on the site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: _____ _____	Has there been a sustained yield test on proposed or existing wells? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please attach a copy.
Does Water Meet the Health Agency's Quality Requirements? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Bacteriological? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Chemical? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Physical? <input type="checkbox"/> Yes <input type="checkbox"/> No
Water analysis report submitted. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health:	
<input type="checkbox"/> Well Driller's Letter <input type="checkbox"/> Water Quality Analysis OK Problems <input type="checkbox"/> Will-Serve Letter <input type="checkbox"/> Other: _____	<input type="checkbox"/> Pump Test Hours: <input type="checkbox"/> GPM: <input type="checkbox"/> <input type="checkbox"/> Surrounding Well Logs <input type="checkbox"/> Hydrologic Study
SEWAGE DISPOSAL INFORMATION (ON-SITE INDIVIDUAL DISPOSAL SYSTEM) N/A - sewer hook-up available	
Has an engineered percolation test been completed? <input type="radio"/> Yes <input checked="" type="radio"/> No If yes, please attach a copy.	Has a piezometer test been completed? <input type="radio"/> Yes <input checked="" type="radio"/> No If yes, please attach a copy.
Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Will a Waste Discharge Permit from the Regional Water Quality Control Board be required a waste discharge (typically needed in excess of 2,500 gallons per day)? <input type="radio"/> Yes <input checked="" type="radio"/> No
What is the distance from proposed leach field to any neighboring water wells? <u>N/A</u> feet	

Environmental Description

SEWAGE DISPOSAL INFORMATION (COMMUNITY DISPOSAL SYSTEM)	
Is this project to be connected to an existing sewer line? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Distance to nearest sewer line: _____ Location of connection: <u>1st Street</u>	
What is the amount of proposed flow? _____ (gallons per day)	Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
SOLID WASTE INFORMATION	
What is the name of solid waste disposal company? <u>South County Sanitary Services</u>	Where is the waste disposal storage in relation to buildings? _____
What type of solid waste will be generated by the project? <input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Other If other, please describe: <u>Commercial</u>	Does your project design include an area for collecting recyclable materials and/or composting materials? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
COMMUNITY SERVICE INFORMATION	
Name of school district: <u>San Luis Coastal Unified School District</u>	
Are services (grocery/other shopping) within ½ mile of the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Location of nearest... Police station: <u>1000 Bello St., Pismo Beach</u> Fire station: <u>1551 Sparrow Street</u> Public transit stop: _____
HISTORIC AND ARCHEOLOGICAL INFORMATION	
Describe the historic use of the site: Residential use since 1948.	
Are you aware of the presence of any historic, cultural, or archaeological materials on the project site or in the vicinity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____	Has an archaeological surface survey been done for the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please attach two copies.
AGRICULTURAL INFORMATION	
If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? N/A - urbanized area	
Is the site currently in Agricultural Preserve (Williamson Act)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the site currently under land conservation contract? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Environmental Description

SPECIAL PROJECT INFORMATION

Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan):

Will the development occur in phases?

Yes No

If yes, please describe: _____

Are there any proposed or existing deed restrictions?

Yes No

If yes, please describe: _____

Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?

Yes No

If yes, please describe: _____

ENERGY CONSERVATION INFORMATION

Describe any special energy conservation measures or building materials that will be incorporated into your project:

ENVIRONMENTAL INFORMATION

List any mitigation measures that you propose to lessen the impacts associated with your project:

Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?

Yes No

If yes, please describe: _____

Are you aware of any previous environmental determinations for all or portions of this property?

Yes No

If yes, please describe and provide permit or subdivision numbers(s): _____

OTHER RELATED PERMITS

List all permits, licenses or government approvals that will be required for your project (federal, state, and local):



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Information Disclosure Form

PLN-1006
01/24/2020

Time Limits for Processing and Public Notice Distribution Requirements

California state law (California Government Code Section 65941.5) requires that the County provide the following information to applicants, when a permit application is filed:

- Not later than 30 days after a land use or land division application is received, the county must notify the project applicant or designated representative in writing either that the application is complete, or that items are necessary to complete the application. If you are not notified in writing, the application is considered complete. Any land use or land division application receiving a Negative Declaration must be approved or denied within 60 days of its adoption. If the project is exempt under CEQA, the project must be approved or denied within 90 days of acceptance. For land use/land division applications subject to an Environmental Impact Report (EIR), project approval/denial shall be within six months of the certification of the EIR. The County of San Luis Obispo processes the land use application and the environmental review concurrently, so these decisions are made simultaneously. (Government Code Sections 65943 and 65950, et seq.)
- A project applicant may make a written request to the county to receive notice of any proposal to adopt or amend the general plan and the land use, real property division, building and construction, road name and addressing, and growth management ordinances which might reasonably be expected to affect that applicant's project. The county offers a subscription service for notification of either: (1) all applications received by the county, or (2) Planning Commission agendas. The cost for each of these services is established by the county fee ordinance. (Government Code Sections 65945, 65945.3 and 65945.5)
- When a property was created through recordation of a final or parcel map, and it is within five years of recordation, the county cannot withhold or condition the issuance of building permits for residential units based on conformance with conditions that could have been imposed as conditions of the tentative map, except where: (1) A failure to do so would place subdivision residents or residents in the immediate area in a condition perilous to health, safety or both; or (2) The condition is required in order to comply with state or federal law. (Government Code Section 65961)
- Copies of Government Code Sections are available at the County of San Luis Obispo Law Library, County Government Center, San Luis Obispo, California.

Right to Farm Disclosure

The County of San Luis Obispo recognizes the statewide policy to protect and encourage Agriculture. Sections 3482.5 and 3482.6 of the California Civil Code and Chapter 5.16. of the San Luis Obispo County Code protect certain, pre-existing agricultural production and processing operations ("agricultural operation") from nuisance claims. If your property is near a protected agricultural operation, you may be subject to certain inconveniences and/or discomforts which are protected by law. In order for the agricultural operation to be protected, the following requirements of Civil Code Sections 3482.5 and 3482.6 must be satisfied:

Information Disclosure Form

1. The agricultural operation must be conducted or maintained for commercial purposes;
2. The agricultural operation must be conducted or maintained in a manner consistent with proper and accepted customs and standards as established and followed by similar agricultural operations in the same locality;
3. The agricultural operation predated the affected use(s) on your property; (4) The agricultural operation has been in existence for more than three years; and (5) The agricultural operation was not a nuisance at the time it began.

If your property is near an agricultural operation in the unincorporated area of the County which satisfies the above requirements, you may at times be subject to one or more inconveniences and/or discomfort arising from that operation. Such inconveniences may include (depending upon the type of agricultural operation protected), but are not necessarily limited to, the following: noise, odors, fumes, dust, legal pesticide use, fertilizers, smoke, insects, farm personnel and truck traffic, visual impacts, night time lighting, operation of machinery and the storage, warehousing and processing of agricultural products or other inconveniences or discomforts associated with the protected agricultural operations. For additional information pertaining to this disclosure and the Right to Farm Ordinance, or concerns with an agricultural operation, please contact the San Luis Obispo County Agricultural Commissioner’s Office.

Landfill Disclosure

Please answer the following question: “This project is within ½ mile of one of the landfills in the North County planning area (Paso Robles Municipal or Chicago Grade Landfills)” Yes No

Acknowledgement

I acknowledge that I have read and understand the sections detailed above:

1. Time Limits for Processing and Public Notice Distribution Requirements
2. Right to Farm Disclosure
3. Landfill Disclosure



 Applicant Signature

 Additional Applicant Signature (if applicable)

9/9/2024

 Date

 Date



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Land Use Consent of Property Owner

PLN-1012
04/01/2020

Property Address: 502 First Street	APN(s): 076-213-007
Project Description: Construct new 2-story mixed-use project with a 25-foot maximum height. First floor contains 928 square feet of commercial space and a 448 square-foot ADU with an adjacent carport. Second floor contains a 2,052 square-foot residential unit connected via elevator to a 577 square-foot, two-car garage. +	

CONSENT

I (we) the undersigned owner(s*) of record of the fee interest in the parcel of land located at the above address, identified as the above Assessor Parcel Number, for which a construction permit, land use permit, land division, general plan or ordinance amendment, or LAFCO application referral is being filed with the County requesting an approval for the above project description, do hereby certify that:

- Such application may be filed and processed with my (our) full consent, and that I (we) have authorized the agent named below to act as my (our) agent in all contacts with the county and to sign for all necessary permit applications in connection with this matter.
- I (we) hereby grant consent to the County of San Luis Obispo, its officers, agents, employees, independent contractors, consultants, sub-consultants and their officers, agents, and employees to enter the property identified above to conduct any and all surveys and inspections that are considered appropriate by the inspecting person or entity to process this application. This consent also extends to governmental entities other than the county, their officers, agencies, employees, independent contractors, consultants, sub-consultants, and their officers agents or employees if the other governmental entities are providing review, inspections and surveys to assist the county in processing this application. This consent will expire upon completion of the project.
- If prior notice is required for an entry to survey or inspect the property, please contact:
- I (we) hereby give notice of the following concealed or unconcealed dangerous conditions on the property (dogs, hazardous materials, or specify none)

CONSENT GRANTOR / PROPERTY OWNER		AUTHORIZED AGENT FOR CONSENT GRANTOR	
Name: Victor Montgomery	Phone: (805) 431-7679	Name: Pamela A. Ricci, AICP	Phone: 805-250-2840 +
	VMontgomery@rrmdesign.com +	Company / Agency: RRM Design Group	Email: parcci@rrmdesign.com +
Full Mailing Address: P.O. Box 534 Avila Beach, CA 93424		Full Mailing Address: 3765 S. Higuera Street, Ste. #102 San Luis Obispo, CA 93401	
Signature: 	Date: 9/9/2024	Signature: 	Date: 9/9/2024

*attach additional PLN-1012 forms for multiple owners, if applicable



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1122
04/01/2020

Hazardous Waste and Substances Statement Disclosure

PROJECT TITLE: 502 First Street Mixed Use

PROJECT APN(s): 076-213-007

Per Government Code section 65962.5, known as the 'Cortese List' (AB3750), I have consulted the following website resources and lists to determine if the subject property contains hazardous wastes or substances:

- List of Hazardous Waste and Substances sites from Department of Toxic Substances Control (DTSC) EnviroStor database (<http://www.envirostor.dtsc.ca.gov/public/>)
- List of Leaking Underground Storage Tank Sites by County and Fiscal Year from Water Board GeoTracker database (<http://geotracker.waterboards.ca.gov/>)
- List of solid waste disposal sites identified by Water Board with waste constituents above hazardous waste levels outside the waste management unit (PDF). (<http://www.calepa.ca.gov/SiteCleanup/CorteseList/CurrentList.pdf>)
- List of "active" CDO and CAO from Water Board PLEASE NOTE: This list contains many Cease and Desist Orders and Cleanup and Abatement Orders that do NOT concern the discharge of wastes that are hazardous materials. (<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>)
- List of hazardous waste facilities subject to corrective action pursuant to Section 25187.5 of the Health and Safety Code, identified by DTSC (<https://calepa.ca.gov/sitecleanup/corteseList/section-65962-5a>)

After consultation with each of the lists provided on the above websites, I verify that the subject parcel(s) and proposed development (and any alternative development sites, if applicable):

Is not included on any of lists found on the above-referenced websites.

Is included on one or more of the lists found on the above-referenced websites. Pursuant to Section 65962.5 of the Government Code, the following information is provided related to this site/application:

Name of Applicant: _____

Address of site (street name & number if available, City, State and ZIP Code):

Local agency (city/county): _____

Assessor's book, page, and parcel number: _____

Specify any list pursuant to Section 65962.5 of the Government Code: _____

Regulatory identification number: _____ Date of list: _____

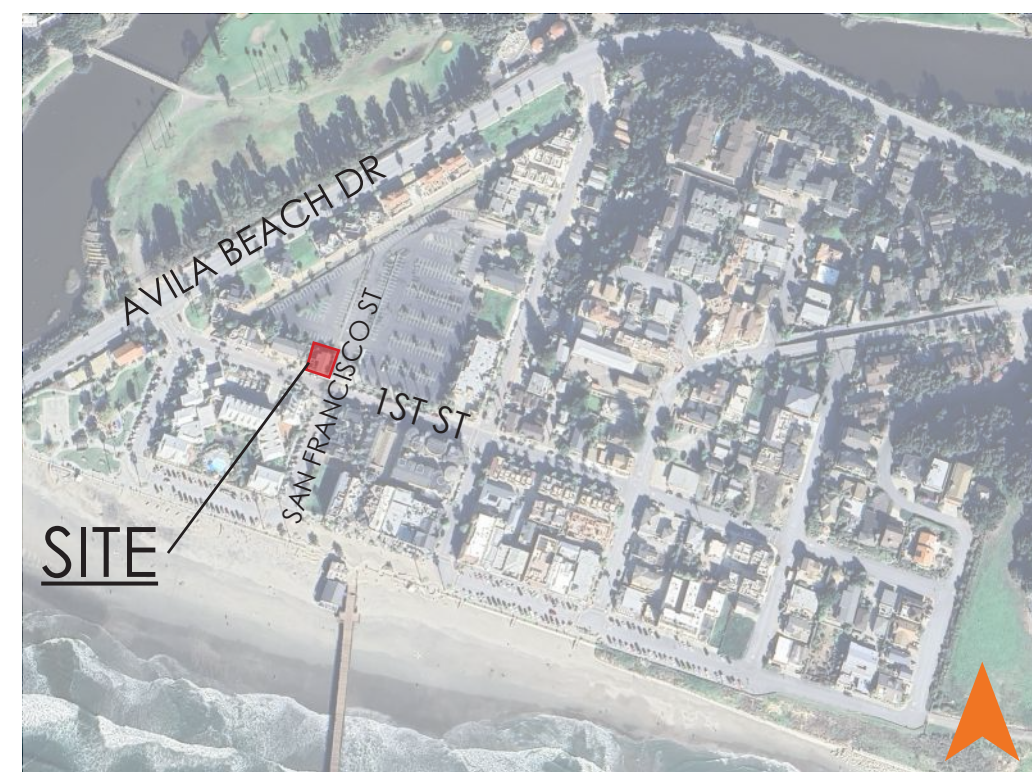
Applicant Signature: 	Applicant Name (Print): Victor & Randi Montgomery
Date of Signature: 9/9/2024	Phone: (805) 431-7679
Email: Montgomery@rrmdesign.com	



502 FIRST ST MIXED USE

PERSPECTIVE VIEW - AT CORNER OF 1ST ST AND SAN FRANCISCO ST

VICINITY MAP



ZONING MAP



PROJECT DIRECTORY

OWNER VIC MONTGOMERY

ARCHITECT RRM DESIGN GROUP
 ADDRESS: 3765 S. HIGUERA STREET, SUITE 102
 SAN LUIS OBISPO, CA, 93401
 CONTACT: DAVID GIBBS
 EMAIL: DPGIBBS@RRMDESIGN.COM

PROJECT DESCRIPTION

PROPOSED TWO STORY MIXED USE PROJECT WHOSE GROUND FLOOR INCLUDES A SINGLE COMMERCIAL SPACE OF 928 NET SF AND A 448 NET SF ADU WITH AN ADJACENT 1-CAR CARPORT, ALONG WITH A 2,052 NET SF 2-BEDROOM RESIDENTIAL UNIT ON THE SECOND FLOOR CONNECTED VIA AN ELEVATOR TO A 577 NET SF TWO-CAR GARAGE. THE PROJECT'S RESIDENTIAL USE IS PARKED ONSITE, AND THE COMMERCIAL PARKING WILL BE SUBJECT TO THE AVILA BEACH IN-LIEU PARKING FEE.

PROJECT STATISTICS

SITE INFORMATION:

STREET ADDRESS: 502 1ST STREET, AVILA BEACH
 SAN LUIS OBISPO, CA, 93401

APN: 076-213-007
 ZONING: CR
 LOT SIZE: 0.07 ACRE (3,000 SF)
 LAND USE: CR(COMMERCIAL RETAIL), COASTAL ZONE
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: RESIDENTIAL, COMMERCIAL

FLOOR AREA RATIO

MAXIMUM FAR: -
 PROPOSED FAR: 1.59

LOT COVERAGE

BUILDING: 2,250 GSF
 HARDSCAPE/PAVING: 740 SF
 LANDSCAPE: 10 SF

SETBACKS

	REQUIRED	PROPOSED
FRONT:	ZERO	ZERO
REAR:	ZERO	ZERO
SIDES:	ZERO	ZERO

BUILDING INFORMATION:

NUMBER OF STORIES: 2-STORY
 OCCUPANCY GROUP: A-2, R-3, U
 CONSTRUCTION TYPE: V-A
 SPRINKLERED: NFPA 13
 MAX. HEIGHT ALLOWED: (PER 2022 CBC TABLE 504.3) 25FT
 MAX. HEIGHT ALLOWED: (PER COUNTY OF SAN LUIS OBISPO) 25FT
 MAX. HEIGHT PROPOSED: 25'-0"
 ROOF RATING: MIN. CLASS B
 FIRE ZONE: Yes
 FLOOD ZONE: Yes

PARKING

RESIDENTIAL PER CZLUO 23.04.166.c (5)

REQUIRED PARKING			
UNIT TYPE	UNIT COUNT	MIN. REQUIRED PER COUNTY	TOTAL PARKING
STUDIO & 1 BEDROOM	1	1 SPACE/UNIT	1
2-BEDROOM	1	2 SPACE/UNIT	2
TOTAL	2		3 REQ.

REQUIRED: TOTAL 3 STALLS
 PROPOSED: TOTAL 3 STALLS

COMMERCIAL PER CZLUO 23.04.166.c (7)
 FOOD & BEVERAGE RETAIL SALES: 1 PER 200 SF OF FLOOR AREA

REQUIRED: TOTAL 4 STALLS
 PROPOSED: OFF-STREET PARKING

BUILDING AREA (NET)

AREAS - BUILDING (FLOORS, NET SF)	
ADU	448 SF
COMMERCIAL INTERIOR SPACE	928 SF
PRIMARY RESIDENCE	2052 SF
PRIMARY RESIDENCE DECK 1	294 SF
PRIMARY RESIDENCE DECK 2	93 SF
PRIMARY RESIDENCE DECK 3	516 SF
PRIMARY RESIDENCE GARAGE AT STREET LEVEL	577 SF
TOTAL BUILDING AREA	4909 SF

PLANNING REGULATIONS

- AVILA BEACH SPECIFIC PLAN (ABSP)
- SAN LUIS BAY COASTAL AREA PLAN
- COASTAL ZONE LAND USE ORDINANCE (CZLUO)
- COASTAL ZONE FRAMEWORK FOR PLANNING - COSTAL TABLE 'O'
- COASTAL PLAN POLICES

SHEET INDEX

- A1 TITLE SHEET
- A2 EXISTING CONDITIONS
- A3 FLOOR PLANS
- A4 CODE ANALYSIS
- A5 PERSPECTIVE RENDERING
- A6 ELEVATIONS
- A7 ELEVATIONS
- A8 SITE SECTIONS
- A9 ROOF PLAN
- A10 1ST STREET PERSPECTIVE RENDERING 1
- A11 1ST STREET PERSPECTIVE RENDERING 2
- A12 SOLAR SHADE STUDY - SUMMER SOLSTICE



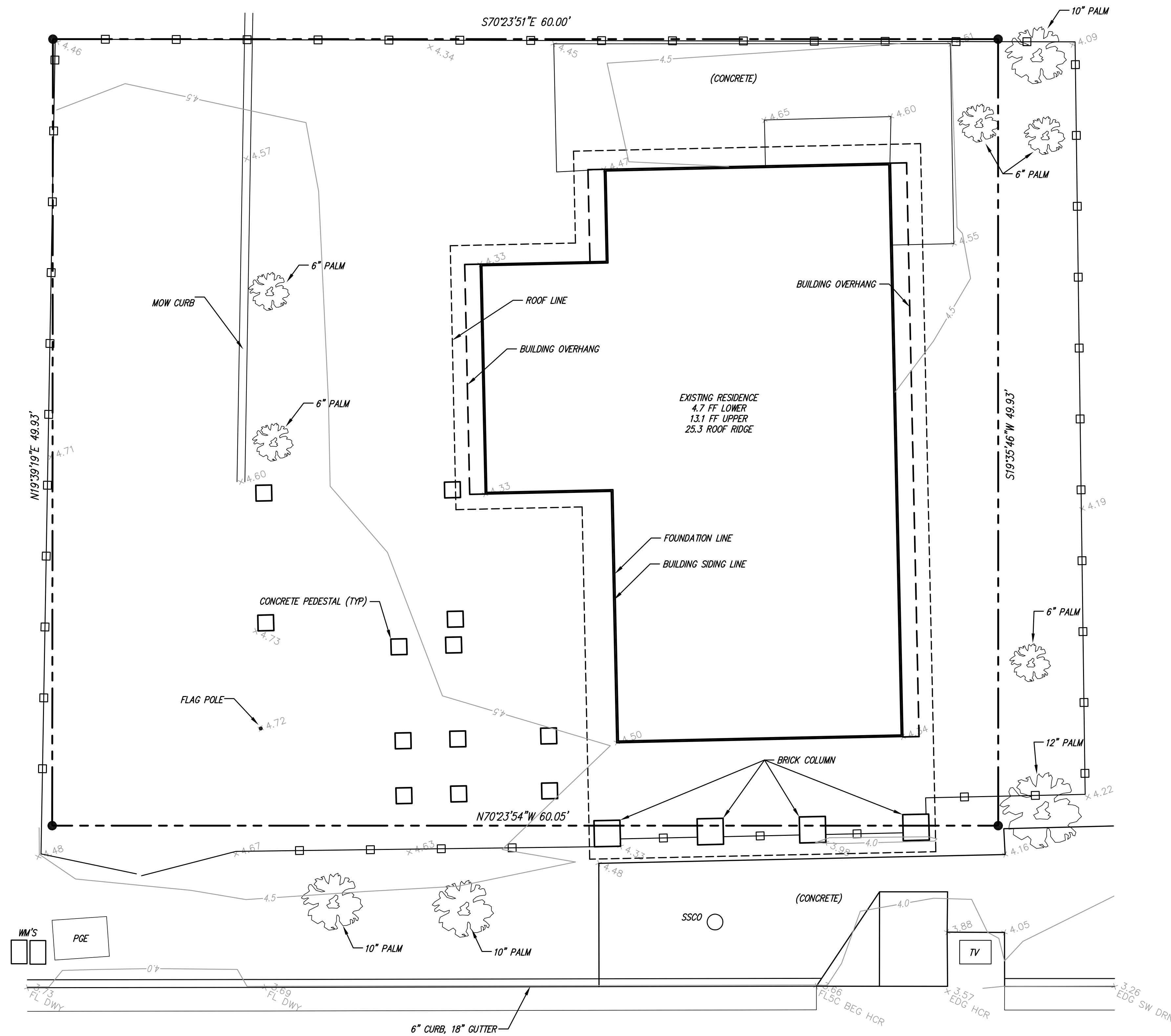
TITLE SHEET

502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A1



LEGEND

	PROPERTY LINE
	5/8" REBAR WITH CAP "LS 5702"
	6" CURB
	WOOD FENCE
	CONTOUR LINE (0.5' INTERVAL)

SURVEYOR'S NOTES:

1. NO CURRENT TITLE REPORT OR TITLE SEARCH WAS PROVIDED TO THE SURVEYOR. DOCUMENTS THAT WERE DISCOVERED BY THE SURVEYOR DURING THE COURSE OF PERFORMING RESEARCH FOR THE TOPOGRAPHIC SURVEY MAY BE SHOWN, HOWEVER, THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT PLOTTED OR SHOWN.
2. THE SURVEYOR HAS NOT MADE A COMPLETE INVESTIGATION OF UNWRITTEN RIGHTS, UNWRITTEN EASEMENTS, COVENANTS, ENCROACHMENTS, OWNERSHIP OR OTHER FACTS THAT A COMPLETE BOUNDARY SURVEY AND TITLE INVESTIGATION MAY DISCLOSE.
3. ONLY SURFACE EVIDENCE OF UTILITIES IS SHOWN ON THIS MAP. WE MAKE NO WARRANTY AS TO THE LOCATION, TYPE OR DEPTH OF UNDERGROUND UTILITIES. THE SURVEYOR HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
4. A COMPLETE BOUNDARY SURVEY AND SETTING MISSING MONUMENTS WILL REQUIRE THE FILING OF A CORNER RECORD OR RECORD OF SURVEY IN ACCORDANCE WITH STATE LAW.

BOUNDARY:

PROPERTY LINES ESTABLISHED BETWEEN FOUND MONUMENTS. BASIS OF BEARINGS BEING THE SOUTHWESTERLY LINE LOT 8 OF BLOCK 5 OF THE TOWN OF AVILA AS SHOWN IN BOOK 80, PAGE 74 OF RECORD OF SURVEY IN THE COUNTY OF SAN LUIS OBISPO RECORDER'S OFFICE, BEARING BEING N7123354"W.

BENCH MARK:

BENCH MARK BEING US&GS BRASS CAP STAMPED "H 828", ELEVATION BEING 19.71 FEET (NGVD 29), 1960 ADJUSTMENT, DESTROYED DURING REMEDIATION.
 TEMPORARY BENCH MARK (TBM) BEING RAILROAD SPIKE SET IN PAVEMENT IN AVILA BEACH DRIVE, ELEVATION BEING 12.89 FEET (NGVD 29).

TOPOGRAPHIC MAP

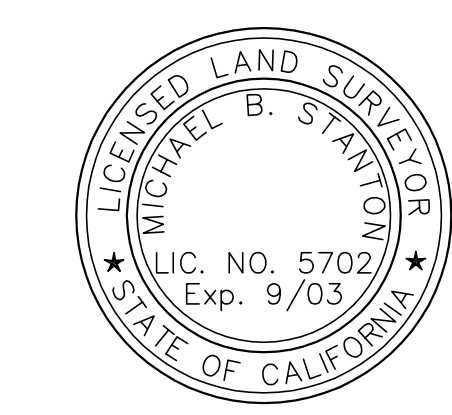
502 FIRST STREET
 AVILA BEACH, CA

REQUESTED BY:
 VICTOR MONTGOMERY

DATE: APRIL 10, 2003

SCALE: 1" = 4'

FIRST STREET



RRM DESIGN GROUP
Creating Environments People Enjoy
 3765 South Higuera Street, Suite 102 • San Luis Obispo, California 93401
 Phone: 805/543-1794 • Fax: 805/543-4609 • www.rrmdesign.com
 Vic Montgomery, Architect CA 11090 • Jerry Michol, PCE 36895, LS 6376 • Jeff Ferber, Landscape Architect 2844

BY: SBW JOB No. 1703008 SHEET 1 OF 1

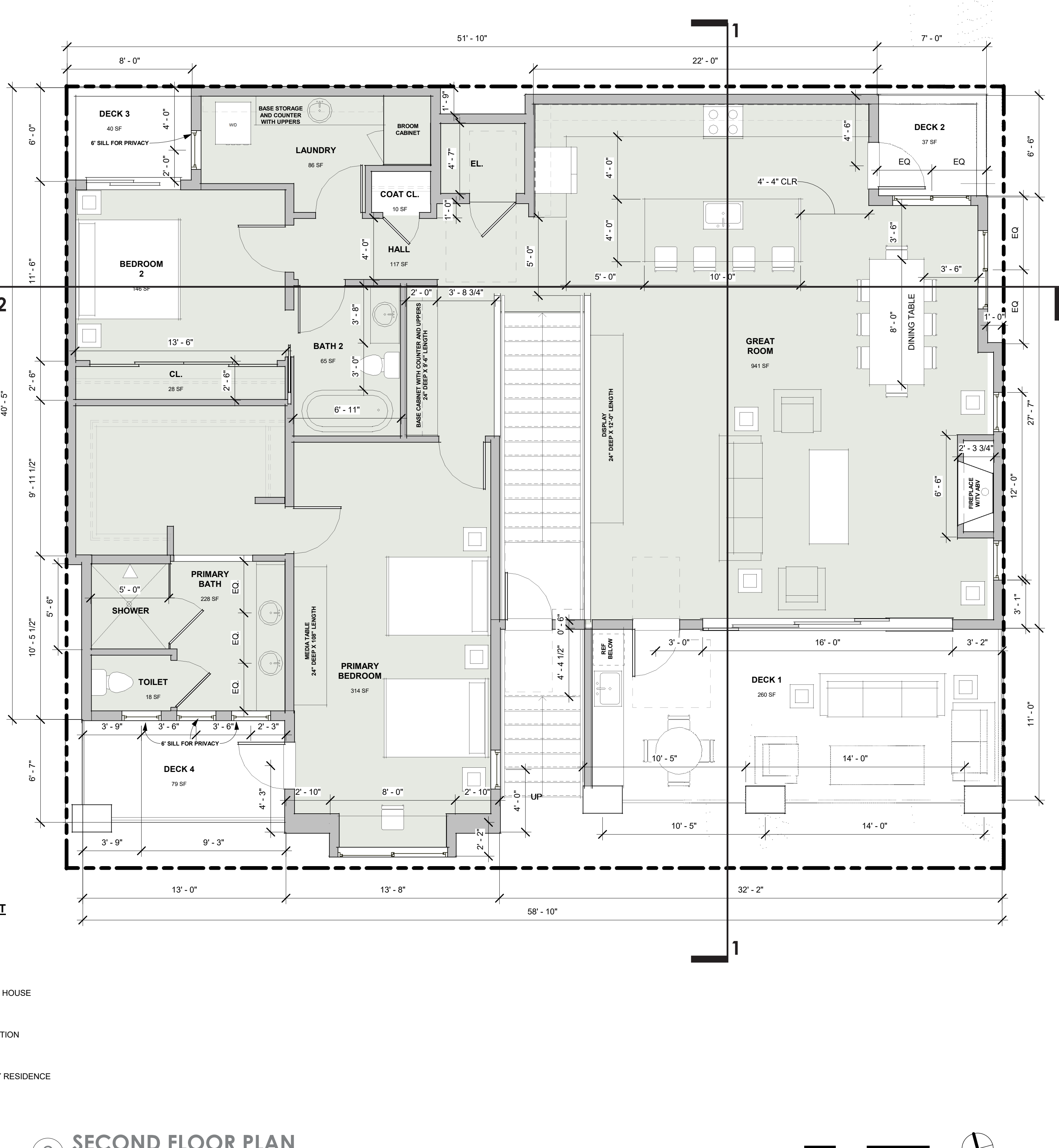
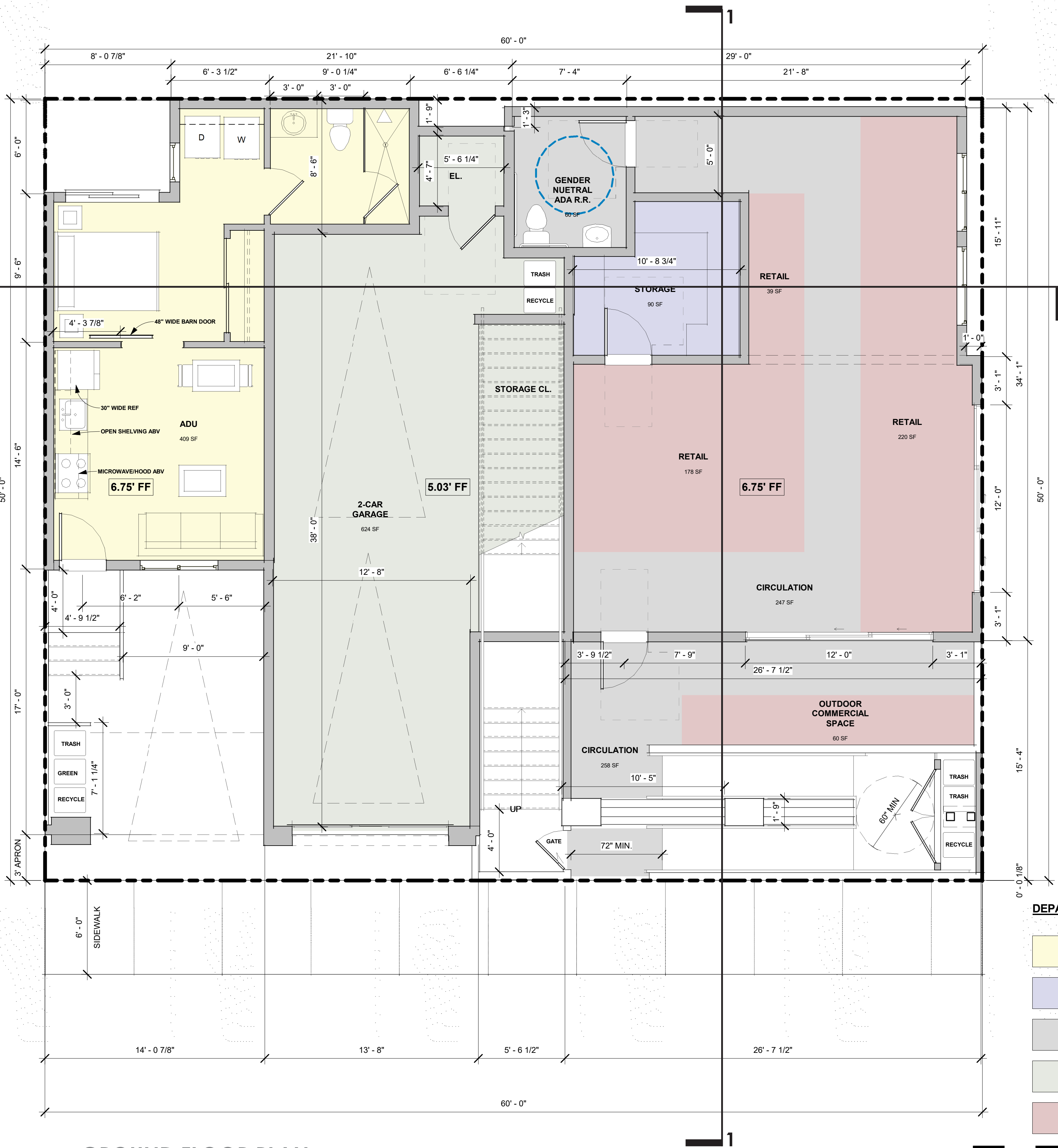


EXISTING CONDITIONS
502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A2

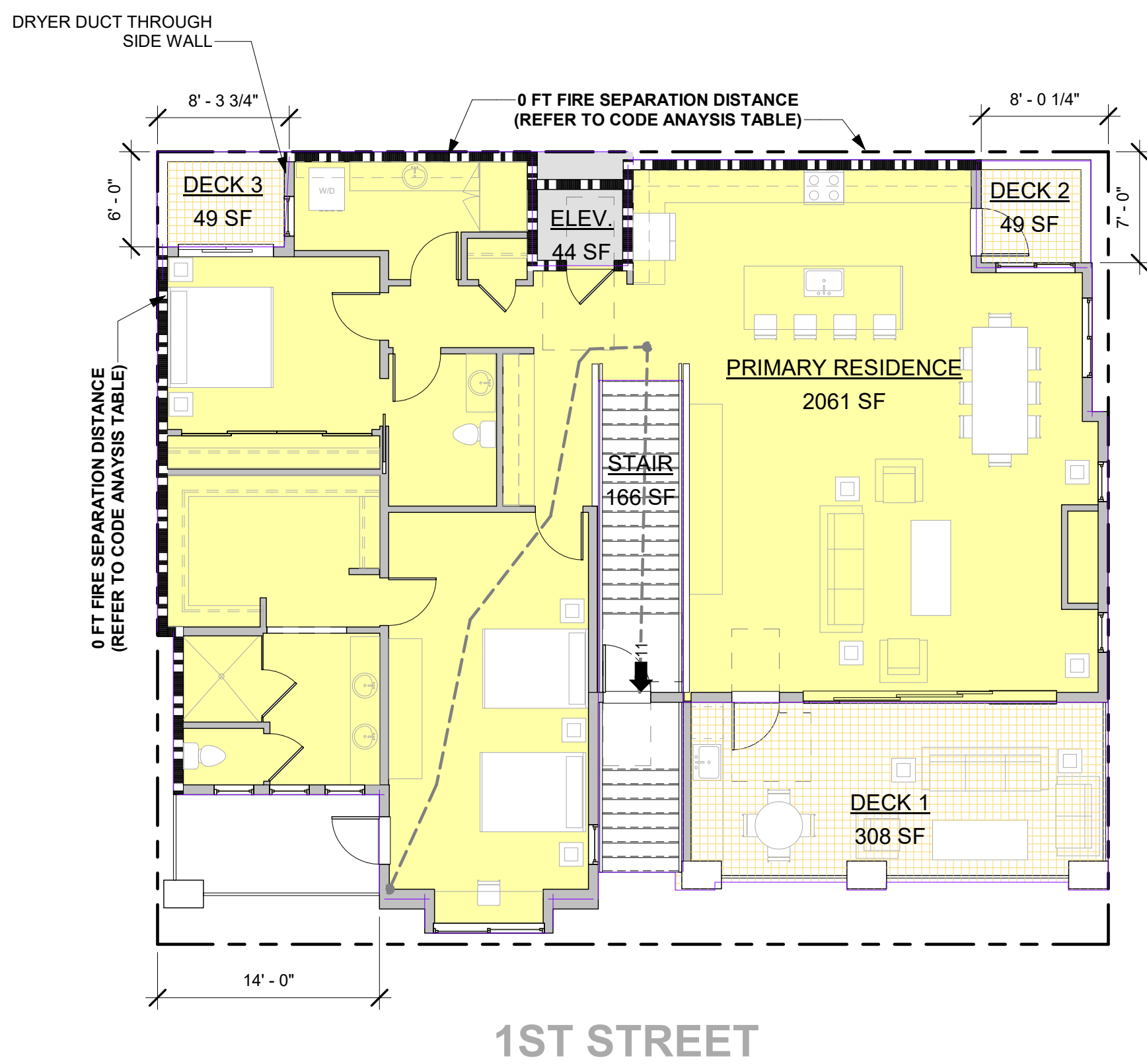


FLOOR PLANS
502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

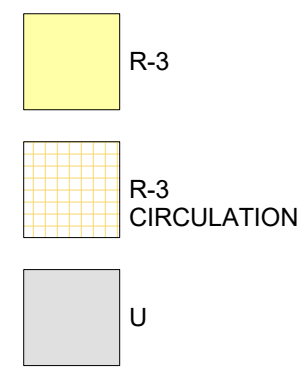
3387-01-CO24

A3



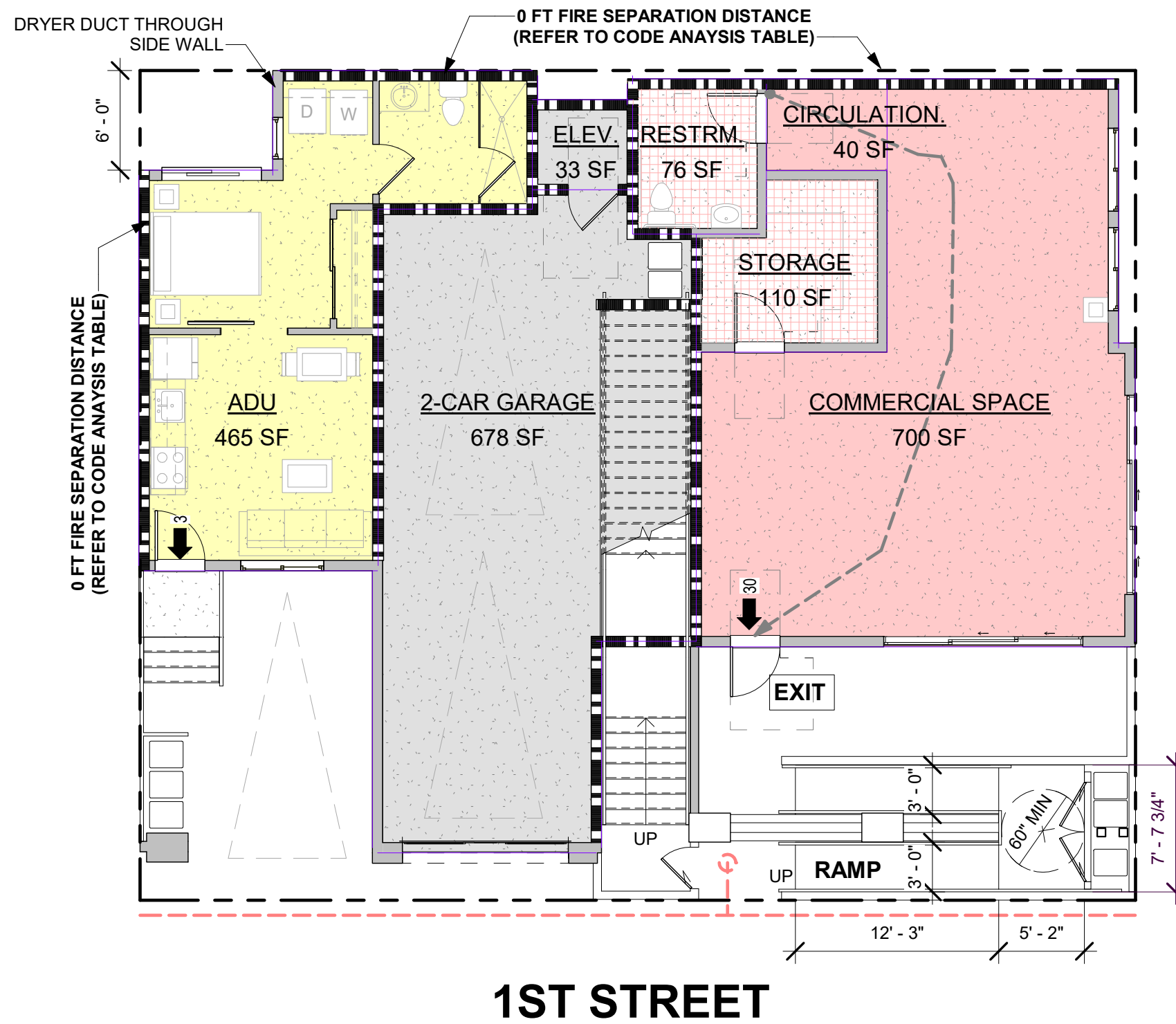
SAN FRANCISCO ST

OCCUPANCY GROUP LEGEND



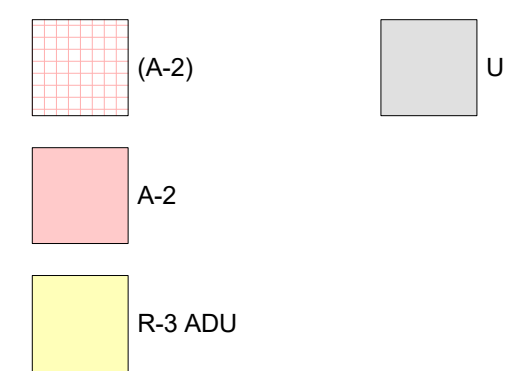
2 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



SAN FRANCISCO ST

OCCUPANCY GROUP LEGEND



1 GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

CODE ANALYSIS (CBC 2022)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	TYPE V-A	601, 602.5 (TYPE V)
FIRE-RESISTANCE RATING	1-HR FOR PRIMARY STRUCTURAL FRAME, EXTERIOR, INTERIOR, FLOOR, ROOF CONSTRUCTION	T-601
FIRE-RESISTANCE FROM FIRE SEPARATION DISTANCE(FSD)		
PROJECTIONS	0 FT TO LESS THAN 2FT: NOT PERMITTED, PROJECTION PROTECTION WITHIN 5FT OF THE FSD LINE.	705.2, T-705.2, 705.2.3, R302.4
EXTERIOR WALLS	LESS THAN 5 FT FROM FSD: 1-HR	705.3, T-705.5, 703.2.2, R302.1
OPENING	SEE ALLOWABLE OPENINGS BELOW	705.8, T-705.8
DUCTS AND AIR TRANSFER OPENINGS	PENETRATIONS IN FIRE-RESISTANCE-RATED EXTERIOR WALLS REQUIRED TO HAVE PROTECTED OPENINGS.	705.10, 717
PARAPETS		705.11
PENETRATIONS	PENETRATIONS: TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479	714, R302.4
FIRE WALLS	N/A	706
FIRE BARRIERS	1-HR FIRE RATING WALLS OCCUR SHAFTS & STAIR ENCLOSURES PER LEGEND.	707.3
FIRE PARTITIONS	N/A	708
CONCEALED SPACES	FIREBLOCKING AND DRAFTSTOPPING SHALL COMPLY WITH SECTION 718	718
HORIZONTAL ASSEMBLIES	1-HR ALL FLOOR-CEILING AND CEILING-ROOF ASSEMBLIES, PROTECT PENETRATIONS	711
WILDFIRE EXPOSURE	MODERATE FIRE HAZARD	CHAPTER 7A
2. MEANS OF EGRESS		
STAIRS	MIN. 36" WIDE	1011.2, CRC R311.7
RAMP	MAX. 1:12 SLOPE FOR EXIT OR EXIT ACCESS RAMP.	1012
COMMON PATH OF EGRESS TRAVEL	A-2: 75FT, R-3: 125FT	1006.2
SPACES W ONE EXIT	A-2: 49PP, R-3: 20PP	1006.1 OR Table 1006.2.1
NUMBER OF EXITS PER STORY	1 EXIT FOR COMMERCIAL SPACE	1006.3
EXIT ACCESS TRAVEL DISTANCE	A-2: 250FT, R-3: 250FT MAX. W/ SPRINKLER SYSTEM	T-1017.2
3. ACCESSIBILITY		
ACCESSIBLE AREA	COMMERCIAL SPACE, AFFORDABLE UNIT	11B
PARKING SPACES	REFER TO PROPOSED PARKING TABLE	11B-208
ACCESSIBLE ROUTES OF TRAVEL	AT LEAST 1 ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM PUBLIC STREETS AND SIDEWALKS.	11B-206.2
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	ENCLOSED ATTICS AND RAFTERS	1202.2
SOUND TRANSMISSION	MIN. 50STC & IIC AT DWELLING SEPARATIONS; MIN. 25STC AT WINDOWS AND DOORS	1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	MIN. CLASS B	1505
6. FIRE EXTINGUISHERS		
FIRE EXTINGUISHERS	TRAVEL DISTANCE TO EXTINGUISHER MAX. 75FT	906.3
7. FLOOD ZONE		
FLOOD ZONE	RAISED OCCUPIED SPACES APPROXIMATELY 2FT ABOVE EXISTING GRADE	

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED

(BASED ON THE 2022 CBC)		
OCCUPANCY CLASSIFICATION (SEC. 302.1)		A-2, R-3
CONSTRUCTION TYPE (TABLE 601)		V-A
ALLOWABLE BUILDING HEIGHT (TABLE 504.3)		60'-0"
ALLOWABLE NUMBER OF STORIES (TABLE 504.4)		3-STORY
ALLOWABLE BUILDING AREA PER STORY (TABLE 506.2)		34,500 SF
TOTAL ALLOWABLE BUILDING AREA (TABLE 506.2)		103,500 SF

GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	25'-0"
PROPOSED NUMBER OF STORIES	2-STORY
PROPOSED BUILDING AREA	SEE SCHEDULE BELOW
AUTOMATIC FIRE SPRINKLERS	NFPA 13

BUILDING HEIGHT PER ABSP SECTION D.3

GROSS BUILDING AREA

LEVEL	AREA
01-GROUND FLOOR	2102 SF
02-SECOND FLOOR	2677 SF
	4779 SF

PLANNING REGULATIONS

- AVILA BEACH SPECIFIC PLAN (ABSP)
- SAN LUIS BAY COASTAL AREA PLAN
- COASTAL ZONE LAND USE ORDINANCE (CZLUO)
- COASTAL ZONE FRAMEWORK FOR PLANNING - COSTAL TABLE 'O'
- COASTAL PLAN POLICES

OCCUPANCY CALCULATIONS

AREA NAME	AREA	OCCUPANCY TYPE	OCCUPANCY FUNCTION OF SPACE	LOAD FACTOR	OCCUPANT LOAD	MAX. OCC. LOAD FOR ONE EXIT (2022 CBC TABLE 1006.2.1)	EXITS REQUIRED
COMMERCIAL SPACE	700 SF	A-2	ASSEMBLY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLE AND CHAIRS)	15	47	49	1
STORAGE	110 SF	(A-2)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	49	1
02-SECOND FLOOR	PRIMARY RESIDENCE	R-3	RESIDENTIAL	200	11	49	1
					62		

ALLOWABLE OPENINGS

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION (CBC 2022 TABLE 705.8.1)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED (UP,S) (PER CBC 2022 SECTION 705.8.1)

0' ≤ x < 3'	NOT PERMITTED
3' ≤ x < 5'	15%
5' ≤ x < 10'	25%
10' ≤ x < 15'	45%
15' ≤ x < 20'	75%
20' ≤ x < 25'	NO LIMIT
25' ≤ x < 30'	NO LIMIT
30' ≤ x	NO LIMIT

NOTE: THIS BUILDING INCLUDES AN NFPA 13 FIRE SPRINKLER SYSTEM.

PROPOSED OPENINGS

NORTH ELEVATION: ALLOWABLE OPENINGS: NOT ALLOWED SOUTH ELEVATION: ALLOWABLE OPENINGS: NO LIMIT

WEST ELEVATION: ALLOWABLE OPENINGS: NOT ALLOWED EAST ELEVATION: ALLOWABLE OPENINGS: NO LIMIT

PLUMBING FIXTURES

COMMERCIAL

PLUMBING CODE ANALYSIS - OCCUPANT LOAD FACTOR (BASE...)

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	CALC
CIRCULATION / RESTROOMS	0	N/A
M MERCANTILE OCCUPANCY (THE SALE OF MERCHANDISE AND ACCESSIBLE TO THE PUBLIC)	100	700/100 = 7 OCCUPANTS
STORAGE (MERCANTILE/RETAIL)	100	110/100 = 2 OCCUPANTS

MERCANTILE 1:100 = 1 GENDER NEUTRAL RESTROOM NEEDED.

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTION CONTINUOUS TO RATED CEILING ABOVE)
- 1-HOUR RATED FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION TO ROOF SHEATHING)
- 1-HR FIRE WALL

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL (SHALL BE 48" MIN. CBC 11B-403.5)
- COMMON PATH OF EGRESSES TRAVEL (CPET) WITH MAXIMUM TRAVEL DISTANCE FROM REMOTE POINT 125' MAX. DISTANCE PER 2022 CBC TABLE 1006.3.3(1) [R-2 AND R-3 OCCUPANCIES] 75' MAX. DISTANCE PER 2022 CBC TABLE 1006.3.3(2) [OCCUPANCIES OTHER THAN R-2 AND R-3]
- NUMBER OF OCCUPANTS EXITING SPACE



PERSPECTIVE VIEW - AT CORNER OF 1ST ST AND SAN FRANCISCO ST



PERSPECTIVE RENDERING

502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A5



1 1ST STREET ELEVATION
 1/8" = 1'-0" (24 X 36 SHEET)



2 SAN FRANCISCO STREET ELEVATION
 1/8" = 1'-0" (24 X 36 SHEET)

0 2 4 8
 1/4" = 1'-0" 24X36 SHEET



3 REAR ELEVATION
 1/8" = 1'-0" (24 X 36 SHEET)



4 LEFT ELEVATION
 1/8" = 1'-0" (24 X 36 SHEET)

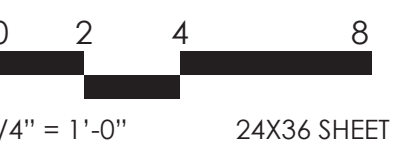
0 2 4 8
 1/4" = 1'-0" 24X36 SHEET

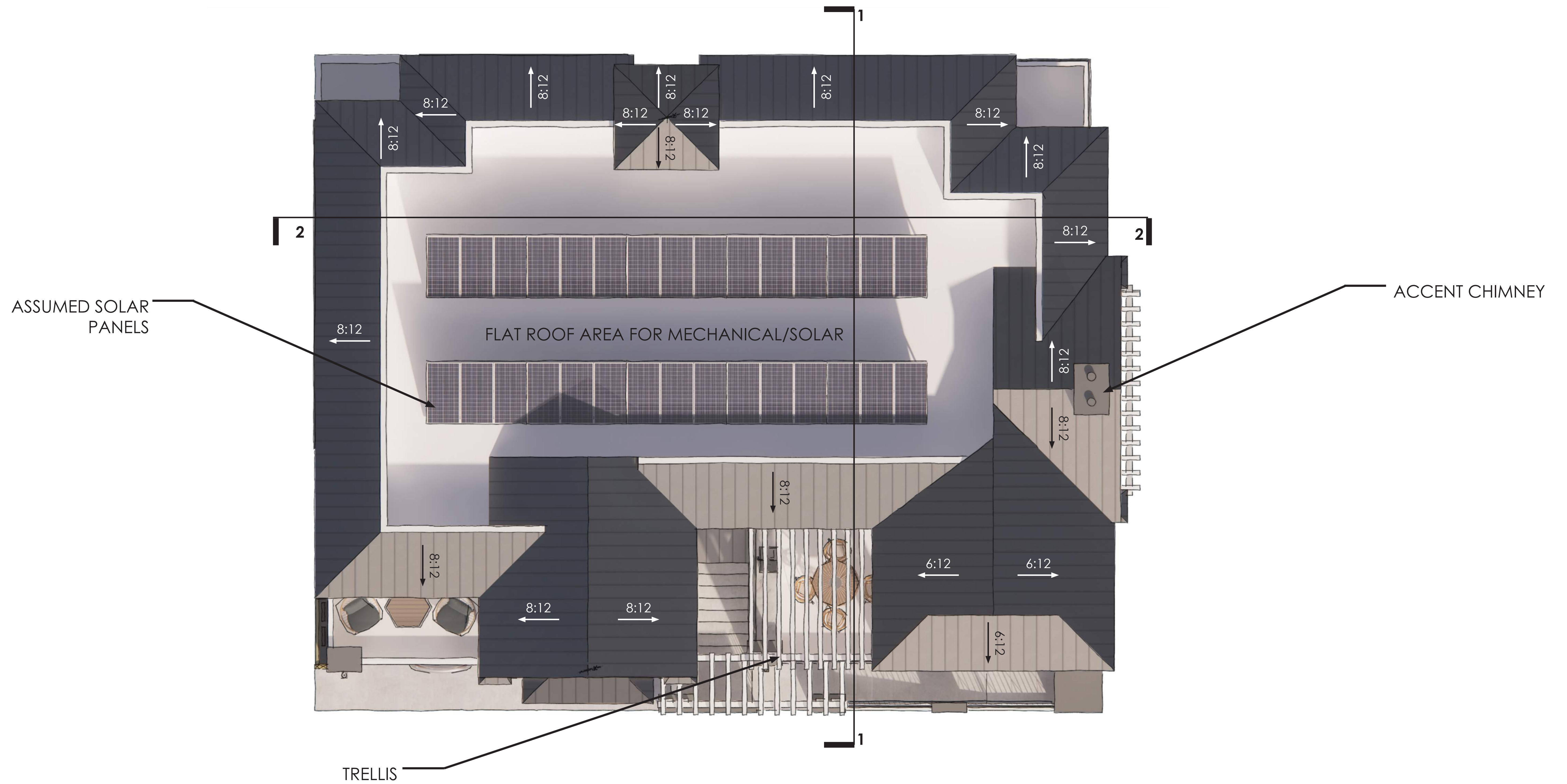


1 SHORT SECTION LOOKING NORTHWEST
1/4" = 1'-0" (24 X 36 SHEET)

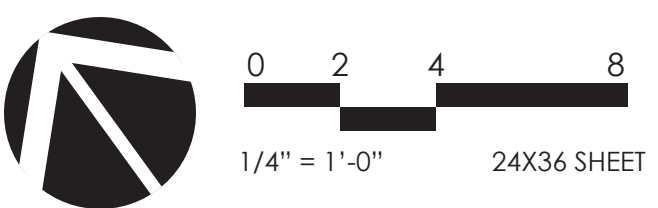


2 LONG SECTION LOOKING SOUTHWEST
1/4" = 1'-0" (24 X 36 SHEET)





1 **ROOF PLAN**
1/4" = 1'-0" (24 X 36 SHEET)





PERSPECTIVE VIEW - SOUTHWEST CORNER



1ST STREET PERSPECTIVE RENDERING 1
502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A10



PERSPECTIVE VIEW - SOUTH CORNER

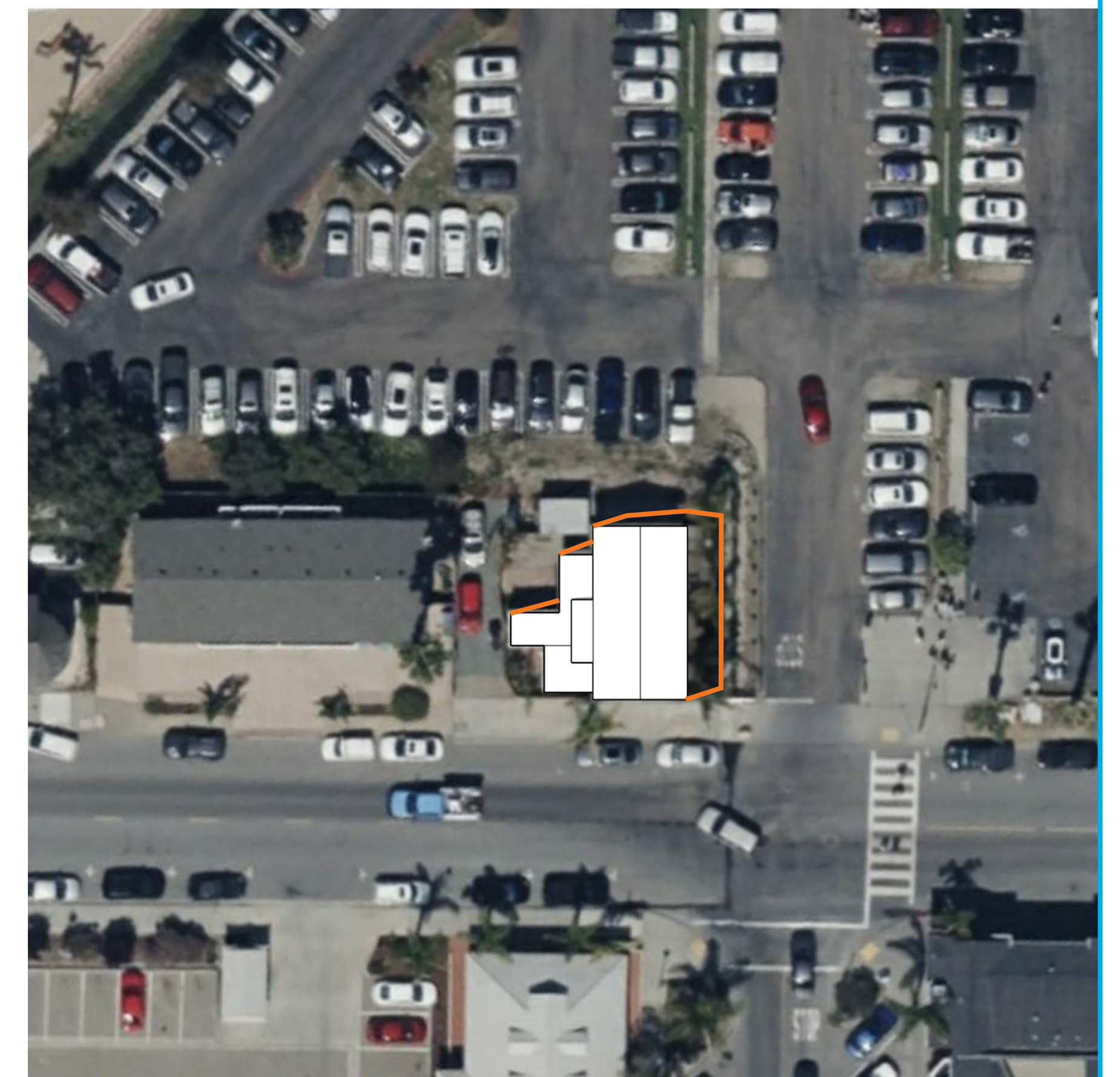
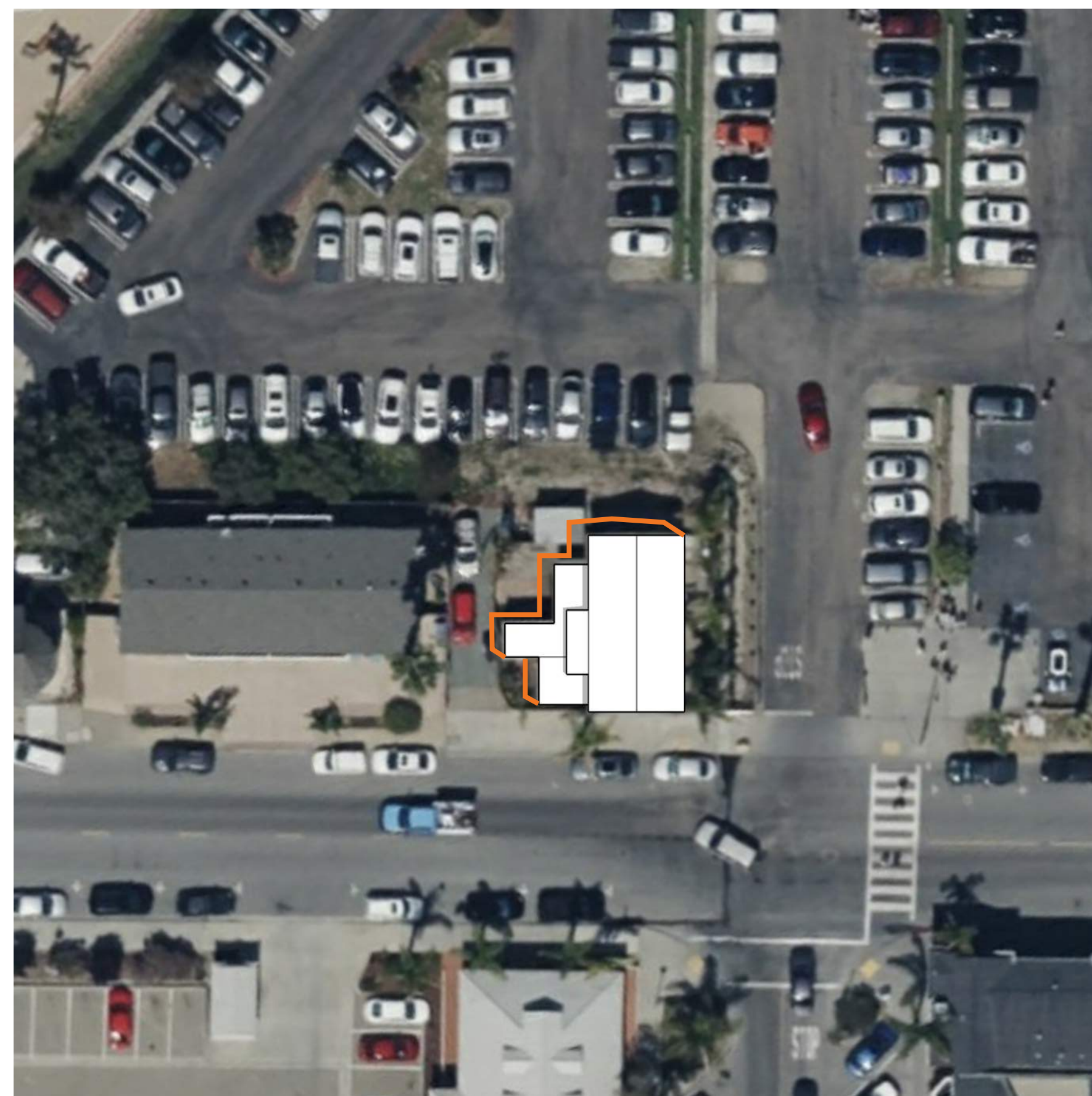
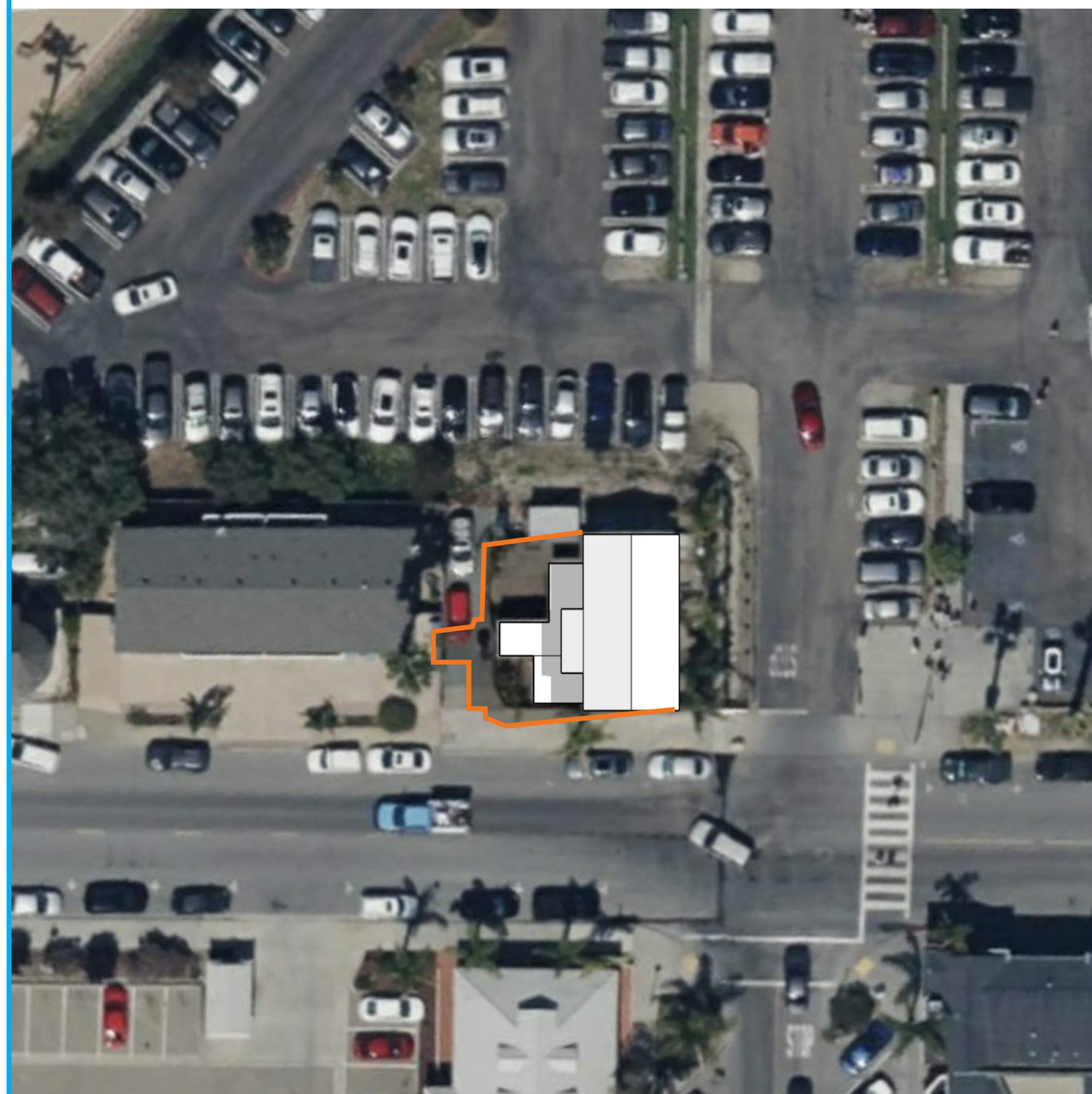
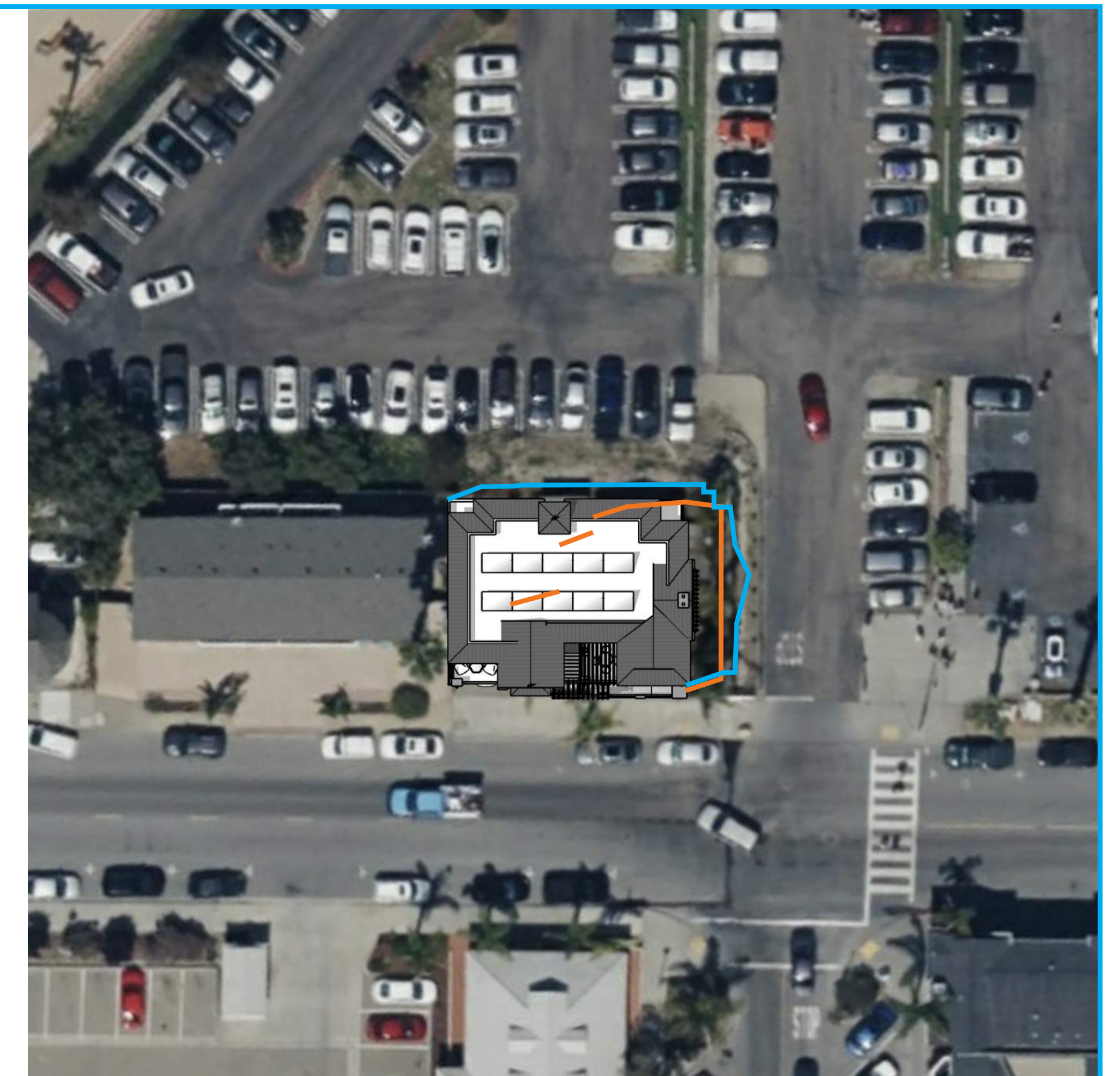
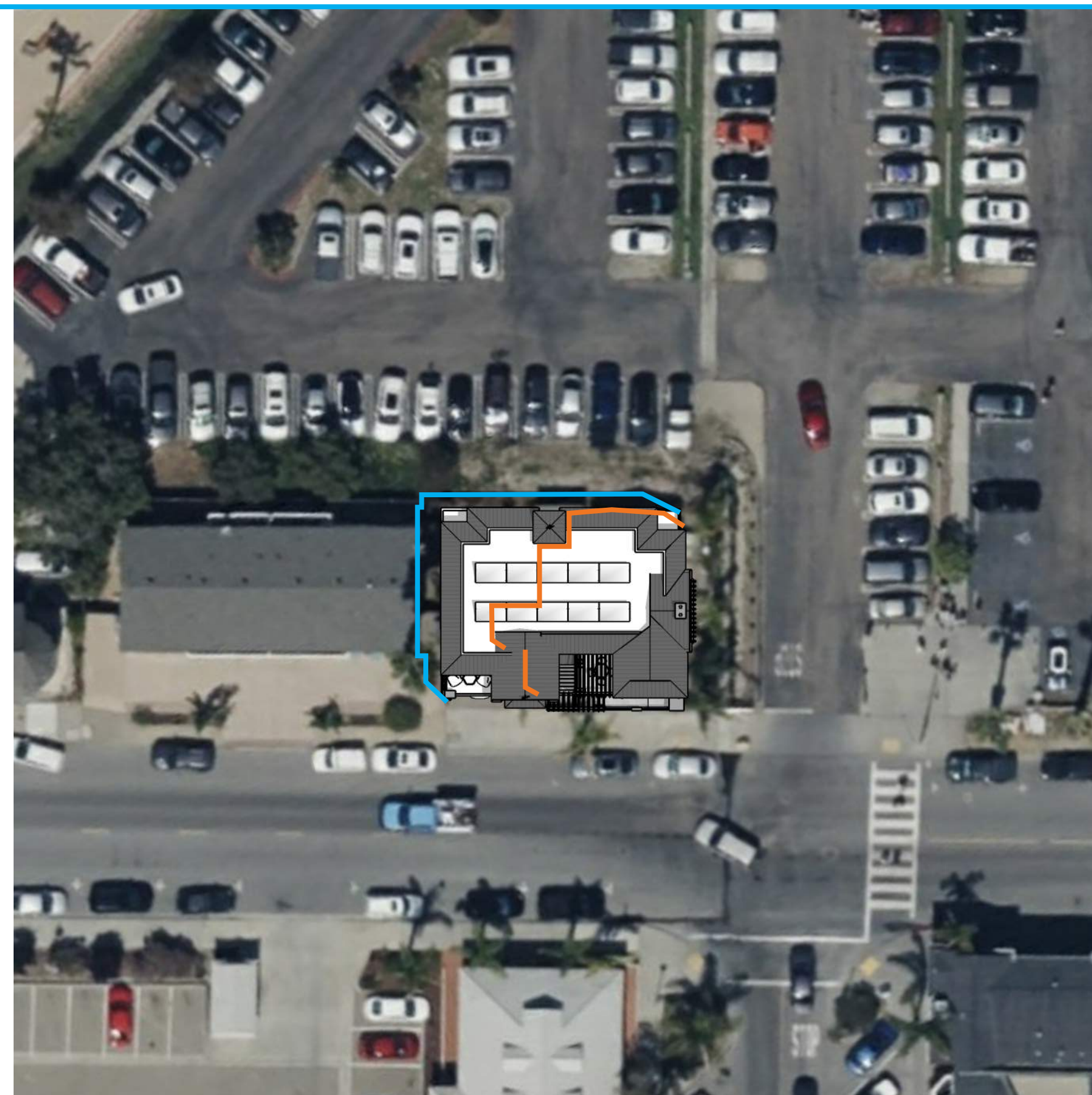
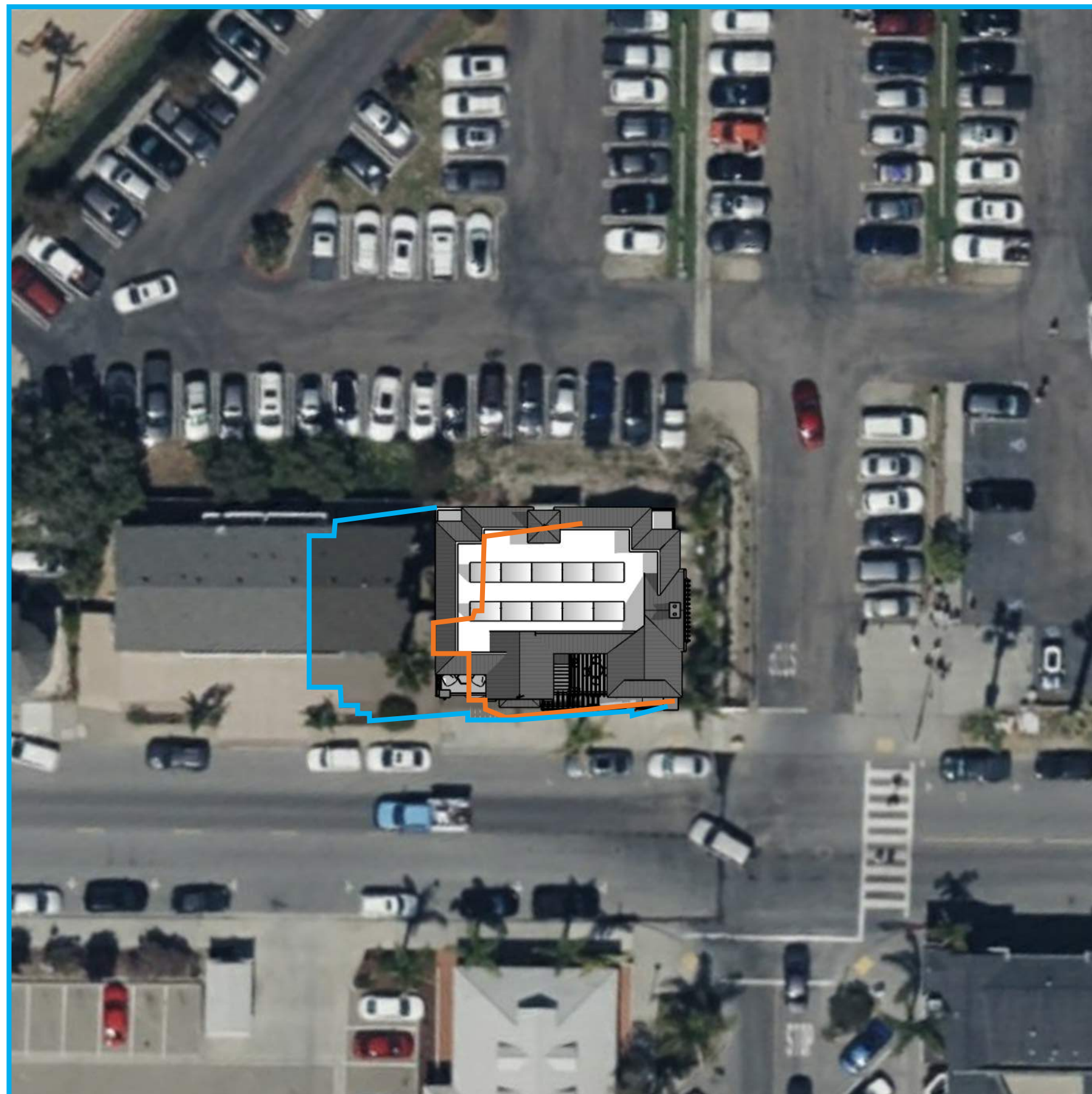


1ST STREET PERSPECTIVE RENDERING 2
502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A11

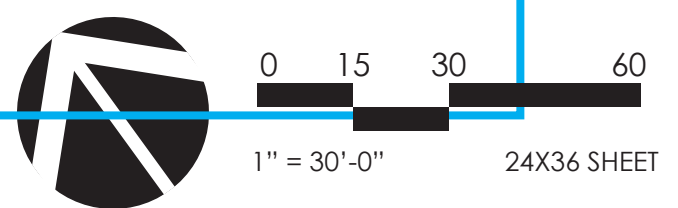


① 6/21 @ 9 AM
1/4" = 1'-0" (24 X 36 SHEET)

② 6/21 @ 12 PM
1/4" = 1'-0" (24 X 36 SHEET)

③ 6/21 @ 3 PM
1/4" = 1'-0" (24 X 36 SHEET)

EXISTING PROPOSED



SOLAR SHADE STUDY - SUMMER SOLSTICE

502 FIRST ST MIXED USE IN AVILA BEACH

10 SEPTEMBER 2024

3387-01-CO24

A12



Parcel Information

APN: 076-213-007

Assessee: MONTGOMERY VICTOR TRE ETAL

Care Of:

Address: PO BOX 534, AVILA BEACH
CA 93424

Description: TN AVILA BL 5 PTN LT 8



For additional assessment information please see Assessor's Property Inquiry Portal

Community Code: AVLB

Supervisor District: Supdist 3

Avg Percent Slope: 1

Land Use Information

Land Uses Combining Designations

CR	Coastal Zone Visitor Serving Area
----	--



Permit Information

Permit	Description	Work Class	Application Date
AUX2024-00079	Auxiliary	Secondary Contacts	9/19/2024 1:55:19 PM
C-DRC2024-00039	Land Use, Coastal Appealable	Development Plan	9/11/2024 3:57:01 PM
P-APP2024-00223	Application	Land Use	9/10/2024 12:08:03 PM
PRE2024-00045	Pre-Application	Pre-Application	4/15/2024 11:11:36 AM
D030097P	Land Use	Minor Use Permit	10/17/2003 12:00:00 AM
D920136D	Land Use	Conditional Use Permit	2/26/1997 12:00:00 AM



D960017W	Determination	Waiver of Curb, Gutter, and Sidewalk	7/16/1996 12:00:00 AM
S920057P	Subdivision	Parcel Map with CUP	3/13/1996 12:00:00 AM
97405	PMTR - Residential Permit	Additions/Alterations	1/24/1996 12:00:00 AM
98565	PMTR - Residential Permit	Additions/Alterations	1/24/1996 12:00:00 AM

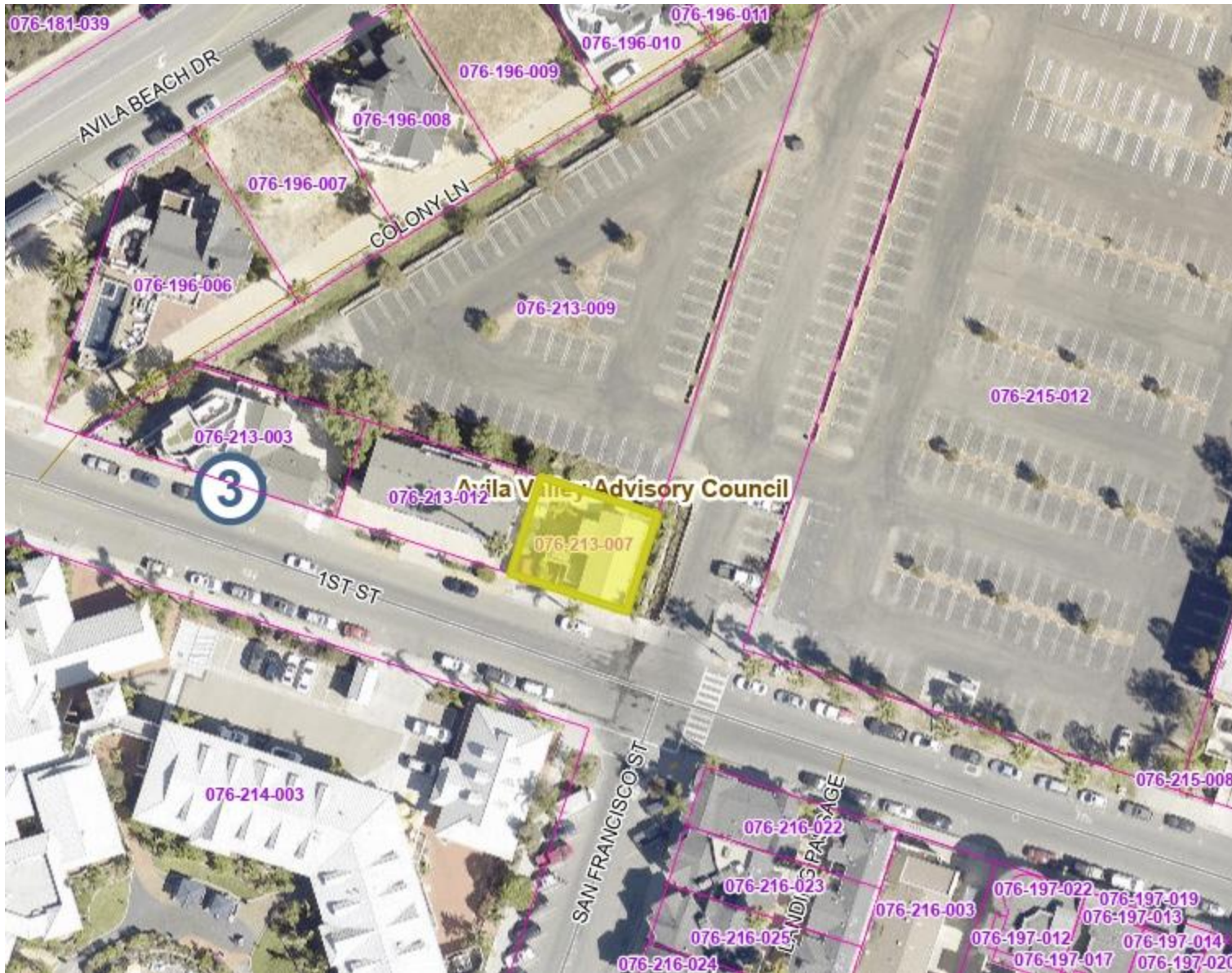
Addresses on this Parcel

502 1ST ST

Recorded Ownership Documents (Current Ownership)

2005-R-059218
2005-R-059218
2005-R-059218
2005-R-059218

GIS Far 076-213-007



- Legend**
- SLO County Parcels
 - Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
 - Community Advisory Groups**
 - Community Advisory Group Boundaries
 - Cayucos Citizens Advisory Council Subarea
 - Creston Advisory Body Sub Areas
 - 2011 Supervisor Districts
 - SLO County Boundary

-188.08 0 94.04 188.08 Feet 1: 1,128



The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only



GIS Near 076-213-007



- Legend**
- SLO County Parcels
 - Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
 - Community Advisory Groups**
 - Community Advisory Group Boundaries
 - Cayucos Citizens Advisory Council Subarea
 - Creston Advisory Body Sub Areas
 - 2011 Supervisor Districts
 - SLO County Boundary

-96.00 0 48.00 96.00 Feet 1: 576



The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only

