



DATE: 9/10/21 THIS IS A NEW PROJECT REFERRAL / SUMMARY *

TO: Building Division, Avila Valley Advisory Council, California Coastal Commission, and Legislative Assistant 3rd District

FROM: Nicole Ellis, nellis@co.slo.ca.us

PROJECT NUMBER & NAME: AMEND2021-00002 Minor Use Permit Amendment to DRC2015-00098

PROJECT DESCRIPTION*: Amendment to Land Use Permit Application DRC2015-00098 to modify site plans, floor plans and elevations for the duplex units on Lot 12 and Lot 13 of the Avila Colony Lots. The proposed amendments include changes to the site plans and floor plans for Lot 12 and 13 which will result in a larger garage and deck area and a minor decrease in habitable space. The new proposed design of Lots 12 and 13 include an individually accessible guest parking space on each parcel, with the guest parking space on Lot 13 being shifted to the east side of the duplex. The applicant also requests changes in streetscape elevations. The proposed changes were reviewed and approved by AVAC in 2019 (who recommended the applicant provide varying colors of white as shown on lots 9 and 12; noting importance of easement landscaping). The amendments will result in minor changes to the previously approved Conditions of Approval. The amendment request is located at 2845 & 2855 Avila Beach Drive, Avila Beach, CA 93424 APN(s): 076-196-017 & 018

Please submit comments within 14 days from receipt of this referral. CACs please respond within 60 days. Thank you. In your response, please consider and/or indicate the following:

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE INDICATE (VIA E-MAIL OR PHONE).

Table with 3 columns: Date, Name, Phone



Letter of Transmittal

Date: August 23, 2021
To: SLO County Planning and Building
From: Ian McCarville, Kirk Consulting
RE: Avila Beach Dreams – DRC2015-00098 MUP Amendment

Please find the following complete application package for submittal of a Minor Use Permit Amendment for DRC2015-00098 located at 2845 & 2855 Avila Beach Drive, Avila Beach, CA 93424 (APNs 076-196-017 & 018).

The following items are included in this submittal:

1. Land Use Permit Application (signed)
2. Supplemental Project Description
3. July 21, 2017, Notice of Final County Action
4. May 4, 2018, Notice of Final County Action
5. DRC2015-00098 - Initial Study / Mitigated Negative Declaration (ED16-034)
6. January 15, 2019, AVAC Letter of Approval for Proposed Changes
7. Lot 12 Plan Set
8. Lot 13 Plan Set
9. Renderings
10. Lot 12 Will Serve Letter
11. Lot 13 Will Serve Letter

Cordially,

Ian McCarville
ian@kirk-consulting.net
Phone: (805) 461-5765



AVILA BEACH DREAMS, LLC
CAGLIERO RESIDENTIAL VACATION RENTAL
DRC2015-00098 MUP AMENDMENT
PROJECT DESCRIPTION (August 2021)

Applicant: Avila Beach Dreams, LLC
Address: 2845 & 2855 Avila Beach Drive, Avila Beach, CA 93424
APN: 076-196-017 & 018
Parcel Sizes: 6,000 sq. ft. per Lot
Land Use: Recreation
Access: Beach Colony Lane

Background

On July 21, 2017, the Department of Planning and Building approved Minor Use Permit DRC2015-00095 which allowed the construction of two 2,800 sq. ft. duplexes on two existing 8,000 sq. ft. parcels (Lots 8 & 9), the construction of three 2,100 sq. ft. duplexes on three existing 6,000 sq. ft. parcels (Lots 10, 12 & 13), a maximum allowed height of 25 feet as measured from the average natural grade for all structures, and to establish the proposed duplex on Lot 9 as a residential vacation rental with a modification from the vacation rental location standards outlined in Section 23.08.165. Construction on lots 8, 9, and 10 are underway and/or completed.

Project Description

A request by Avila Beach Dreams, LLC to amend the previously approved Minor Use Permit DRC2015-00098 to allow minor revisions to the elevations, floor plans, and site plans for the duplex units on Lot 12 and Lot 13 of the Avila Colony Lots.

Elevations

The applicant updated the Avila Beach Drive elevations for all five duplexes in 2018/19 in order to provide a more attractive and interesting streetscape. The streetscape and architectural revisions were reviewed and approved by the Avila Valley Advisory Committee during the January 14, 2019, AVAC meeting as required by Condition of

Figure 1: Site Plan



Approval #3 of DRC2015-00098. Refer to Figure 2 for approved elevations and Figure 3 for updated elevations:

Figure 2: Concept Elevations Approved in Original MUP



Figure 3: Updated Elevations Approved by AVAC in 2019



Site Plans & Floor Plans

The changes in the streetscape elevations resulted in changes to the site plans and floor plans for the proposed duplexes. These changes resulted in a slight reduction in the living space square footage and an increase in unconditioned and non-habitable areas including the exterior decks and the first-floor garage and storage areas. The buildings' front setback along Avila Beach Drive were increased from 22'6" to 25'. The front setback adjustment resulted in refinements to the site grading plan and the structural design of the duplex units. The north facing front wall shifted south and combined into a single structural element extending from the bottom of the roof plate to the bottom of the garage. This change resulted in the below grade garage becoming deeper and larger and the south facing decks increasing in size. The updates to the site plan and streetscape elevations reduced portions of the common interior side setbacks between lot 12 and lot 13 (the original site plan included projections to the five (5) foot setback) and shifted the exterior, individually accessible guest parking space on Lot 13 to the east side of the duplex unit. Refer to Figure 4 for approved cross section from elevations in original MUP and Figure 5 for updated cross section from elevations approved by AVAC:

Figure 4: Approved Cross Section in Original MUP

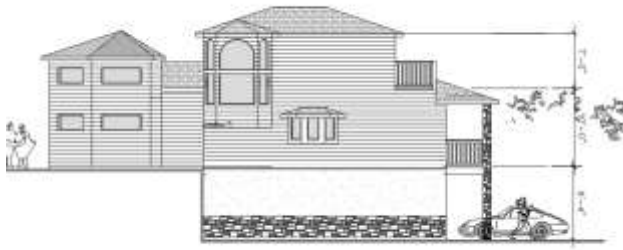
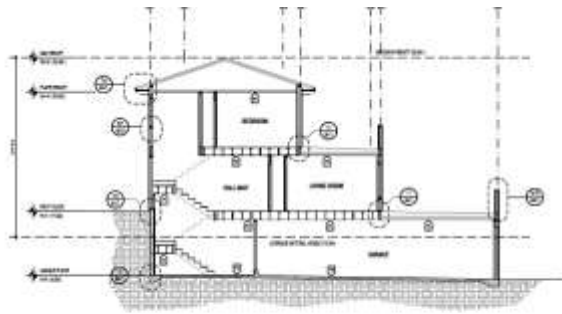


Figure 4: Updated Cross Section Approved by AVAC



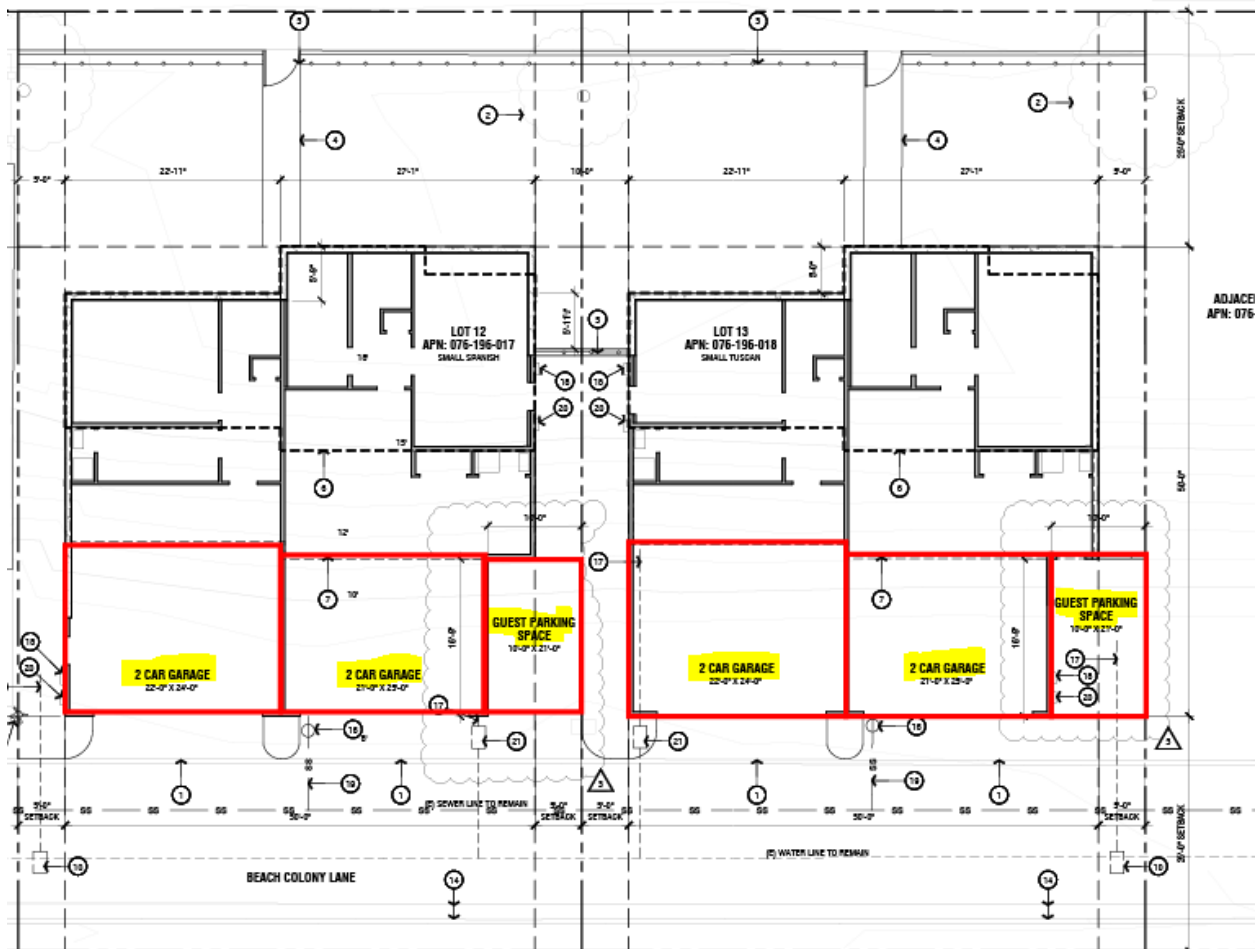
Parking

The proposed amendment is consistent with the previously approved Minor Use Permit, the Avila Beach Specific Plan, and Title 23 of the Land Use Ordinance as it meets the following conditions/requirements:

<p>The approved Minor Use Permit was conditioned to include five (5) parking spaces on Lot 12 and 13.</p>	<p>The proposed amendment includes five (5) parking spaces on Lot 12 and Lot 13.</p>
<p>The Avila Beach Specific Plan restricts parking spaces in the front setbacks (D.4.b. Parking Locations).</p>	<p>The proposed amendment includes two (2) two-garages and one guest parking space per lot. The parking is located at the rear end of each lot and is accessed from Colony Lane. The proposed amendment includes a request to shift the individually accessible guest parking space on Lot 13 to the east side of the duplex, which is still located at the rear end of the lot.</p>
<p>Parking for the multi-family residential uses shall comply with Section 23.04.166 of the Land Use Ordinance, which requires:</p> <ul style="list-style-type: none"> • 1 space per one-bedroom or studio • 1.5 spaces per two-bedroom • 2 spaces per three bedroom unit • 1 space for guest parking, 1 additional space for each four (4) units 	<p>The proposed amendment includes five (5) parking spaces for each lot, which satisfies the parking requirements:</p> <p><u>Lot 12</u></p> <ul style="list-style-type: none"> • (1) three-bedroom = 2 spaces • (1) two-bedroom = 1.5 spaces • 2 spaces + 1.5 spaces + 1 guest space = 5 spaces <p><u>Lot 13</u></p> <ul style="list-style-type: none"> • (1) three-bedroom = 2 spaces • (1) two-bedroom = 1.5 spaces • 2 spaces + 1.5 spaces + 1 guest space = 5 spaces

No additional parking is required as a result of the proposed amendment. No significant impacts are anticipated as a result of the Lot 13 guest parking space switching to the east side of the lot. See Figure 5 below for the location of the proposed parking spaces:

Figure 5: Proposed Parking



Findings

The proposed changes are minor in nature and will not result in new or increased impacts above those of which were address in the approved Mitigated Negative Declaration.

AES-1: Lighting plans will be included at the time of construction permit submittal. All exterior light fixtures will be shielded, and the hoods will dark colored. The proposed use is residential, as originally proposed and approved and the revised elevations have incorporated additional architectural elements that provide interest and create a more attractive streetscape. Additionally, the updated design does not block any more views or have a larger height compared to the original design.

AQ-1 – AQ-3: The air quality measures will be incorporated during construction activities. The proposed changes do not exacerbate air quality impacts beyond what was considered in the Mitigated Negative Declaration.

CR-1 – CR-4. All mitigation requirements have been and will continue to be met throughout the extent of this project. Additional notes on the cover sheet of each plan have been added to the plans as required by the mitigation measures. The contractor will continue to implement these items during excavation and construction.

All other items were not a concern in the original CEQA report and the minor modifications to the design do not create any further impacts but instead reduce those impacts in some instances, as outlined above.

The proposed amendment will shift the living and habitable space towards Avila Beach Drive, resulting in the floor plan adjustments and creates an opportunity for increased square footage in the decks and the garage areas. The updated streetscape and elevations were reviewed and approved by AVAC in 2019, as required by COA #3.

The proposed amendment will result in the modification of the previously approved Condition of Approval 1.b – Table 1: Project Summary (DRC2015-00098 NOFA, July 2017):

- The overall square footage of habitable space for Lot 12 & 13 will be slightly less than what is noted.
- The new proposed design of Lots 12 and 13 include an individually accessible guest parking space on each parcel, in conformance with the approved site plan, with the guest parking space on Lot 13 being shifted to the east side of the duplex.
- The deck space and below-grade unconditioned square footage has increased. The deck area is located in the same area as shown on the original floor plan.
- Additional garage space has been placed under the living space, which will not result in any impacts on views of aesthetic of the project.

Summary

The proposed amendment to DRC2015-00098 is minor in nature and will not result in increased impacts that were considered under the previously approved Mitigated Negative Declaration. The changes to the site plans and floor plans for Lot 12 and 13 will result in a larger garage and deck area and a minor decrease in habitable space. The changes in streetscape elevations will enhance the visual aesthetics of the proposed project while maintaining the visual identity of Avila Beach. The proposed changes were reviewed and approved by AVAC in 2019 and will result in only minor changes to the previously approved Conditions of Approval.

ABBREVIATIONS

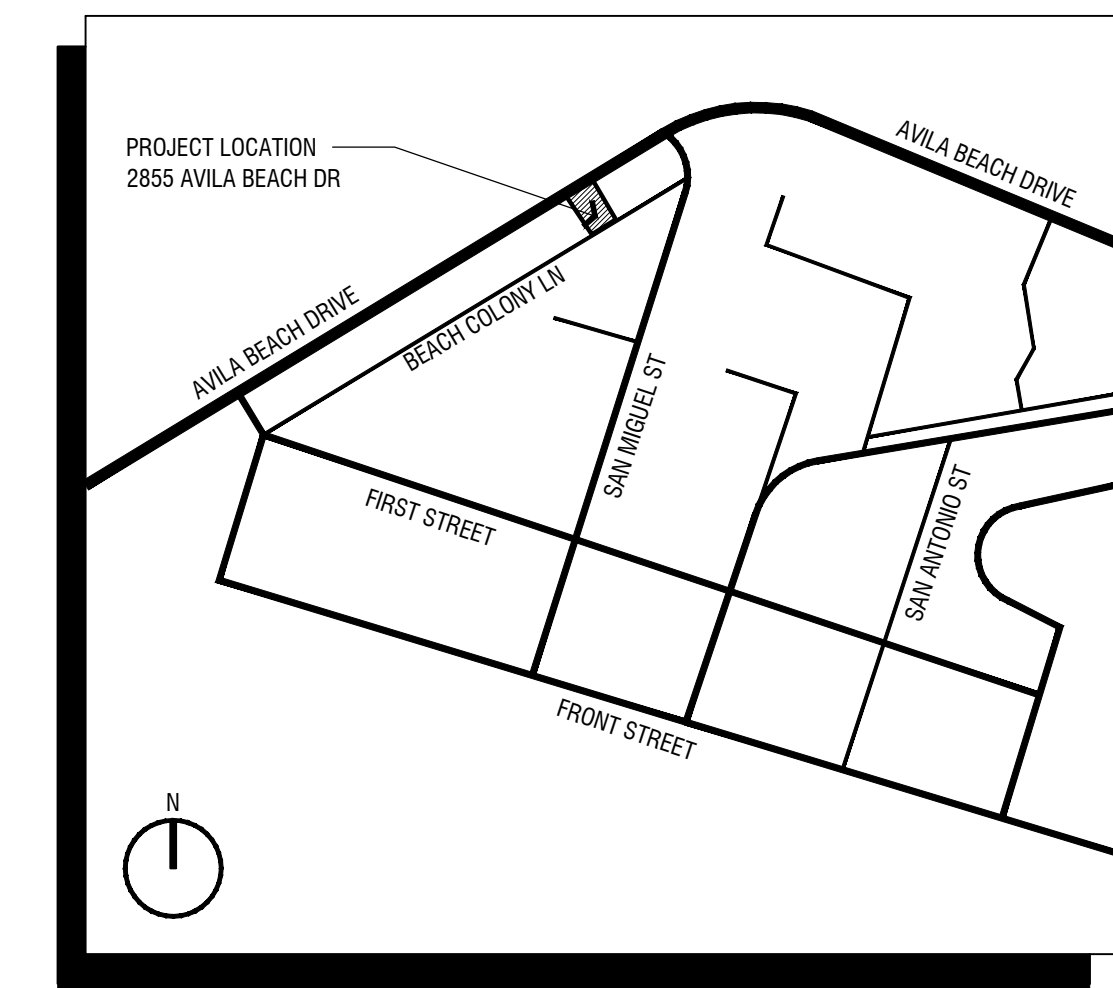
AB ANCHOR BOLT	INFO INFORMATION
AC AIR CONDITIONER	INSUL INSULATION
ADJ ADJACENT	INT INTERIOR
AFF ABOVE FINISH FLOOR	INV INVERT
AL ALUMINUM	JAN JANITOR
APPROX. APPROXIMATELY	KIT KITCHEN
ASPH ASPHALT	LAM LAMINATED
AVG AVERAGE	LAV LAVATORY
BD BOARD	LB/# POUND
BLDG BUILDING	L.F./LF LINEAR FLOOT
BLK/BLKG BLOCK/BLOCKING	LS LAG SCREW
BM BEAM	MAX MAXIMUM
BN BULLNOSE	MB MACHINE BOLT
BOT BOTTOM	MECH MECHANICAL
C.F. CUBIC FOOT	MFR MANUFACTURER
C.I. CUBIC INCH	MIN MINIMUM
CI CAST IRON	MISC MISCELLANEOUS
CJ CEILING JOIST/CONTROL JOINT	MTL METAL
CL CENTER LINE	(N) NEW
CLR CLEAR/CLEARANCE	N.G./NG NATURAL GRADE
CLG CEILING	NO. / # NUMBER
CLKG CAULKING	NTS NOT TO SCALE
CMU CONCRETE MASONRY UNIT	O/ OVER
CO CLEANOUT	OSB OBSOLETE
COL COLUMN	O.C./OC ON CENTER
CONC CONCRETE	OPCI OWNER PROVIDED.
CONN CONNECTION	OPCI CONTRACTOR INSTALLED
CONST CONSTRUCTION	OPOI OWNER PROVIDED.
CONT CONTINUOUS	OPI OWNER INSTALLED
CTR CENTER	OS OCCUPANCY SENSOR
CW COLD WATER	OZ OUNCE
C.Y. CUBIC YARD	PERF PERFORATED
DBL DOUBLE	PERP PERPENDICULAR
DEG DEGREE	PH PHONE
DEPT DEPARTMENT	PL PLATE / PROPERTY LINE
DET DETAIL	PLYWD PLYWOOD
DF DOUGLAS FIR	FR PAIR
DI DIA	PREFAB PRE-FABRICATED
DIAM DIAMETER	P.S.F. POUNDS PER SQUARE FOOT
DIM DIMENSION	P.S.I. POUNDS PER SQUARE INCH
DN DOWN	P.TDF PRESSURE TREATED DOUG FIR
DS DOWNSPOUT	PVMT PAVEMENT
DW DISHWASHER	R RISER
EA EACH	RD ROOF DRAIN
EJ EXPANSION JOINT	REF REFRIGERATOR
ELEC ELECTRICAL	REQ REQUIRED
ELEV ELEVATION/ELEVATOR	RM ROOM
ENCL ENCLOSURE	RO ROUGH OPENING
EOS EDGE OF SLAB	ROW RIGHT OF WAY
EQ EQUAL	RTS REFER TO STRUCTURAL
EQUIP EQUIPMENT	RWD REDWOOD
EST ESTIMATE	SAS SURFACED 4 SIDES
EXIST(E) EXISTING	SC SOLID CORE
EXT EXTERIOR	SD SMOKE DETECTOR
FAU FORCED AIR UNIT	S.F./SF SQUARE FOOT
FH FIRE HYDRANT	SHIT SHEET
F.O.C. FACE OF CURB	SHGT SHEATHING
F.O.F. FACE OF FINISH	SIM SIMILAR
F.O.S. FACE OF STUD	SPEC SPECIFICATION
FD FLOOR DRAIN	SST STAINLESS STEEL
FDN FOUNDATION	STD STANDARD
FE FIRE EXTINGUISHER	SYM SYMBOL
FF FINISH FLOOR	STL STEEL
F.G./FG FINISH GRADE	T&G TONGUE AND GROOVE
FIN FINISH	REA REA
FIX FIXTURE	T THK THICK(NESS)
FLR FLOOR	TEL TELEPHONE
FOS FACE OF STUD	TEMP TEMPERATURE
FP FIREPLACE / FLOOR PLAN	T.O.C. TOP OF CURB
F.S./FS FINISH SURFACE	T.O.F. TOP OF FOOTING
FT FOOT	T.O.W. TOP OF WALL
FTG FOOTING	T.O.S. TOP OF SLAB
G GAS	TV TELEVISION
GA GAUGE	TYP TYPICAL
GALV GALVANIZED	UNO UNLESS NOTED OTHERWISE
GD GARBAGE DISPOSAL	VCT VINYL COMPOSITION TILE
GL GLASS	VERT VERTICAL
GYP GYPSUM	V.I.F. VERIFY IN FIELD
HB HOSE BIBB	W/ WITH
HC HOLLOW CORE	W/O WITHOUT
HDR HEADER	WC WATER CLOSET
HORIZ HORIZONTAL	WD WOOD
HRDW HARDWARE	WH WATER HEATER
HT HEIGHT	W.I.C. WALK IN CLOSET
HW HOT WATER	WT WEIGHT
IN INCH	YD YARD
INCL INCLUDE	

AVILA COLONY DUPLEXES

2855 AVILA BEACH DRIVE



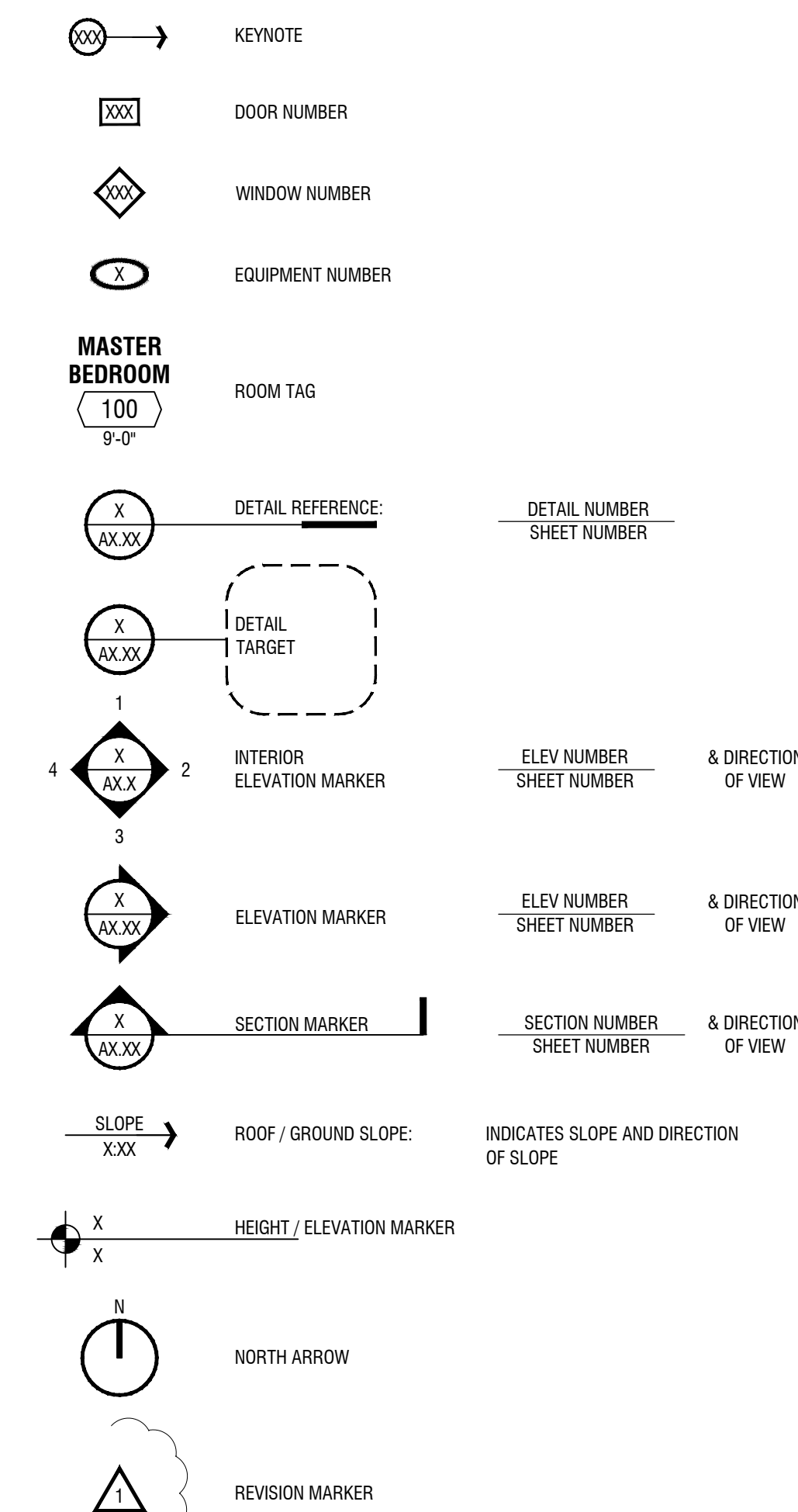
VICINITY MAP



SHEET INDEX

TITLE / CODE	TITLE SHEET
T1.0	TITLE SHEET
T1.1	CONDITIONS OF APPROVAL
T2.0	GENERAL NOTES
T2.1	CALGREEN COMPLIANCE
T2.2	GREEN POINTS
T3.0	TITLE 24
T3.1	TITLE 24
BENCHMARK / BOUNDARY SURVEY	TOPOGRAPHIC MAP
1	TOPOGRAPHIC MAP
CIVIL	NOTE SHEET
C0.1	NOTE SHEET
C1.1	GRADING AND DRAINAGE PLAN
C1.2	CROSS SECTIONS
C1.3	LOT INFORMATION
C2.1	EROSION CONTROL PLAN
LANDSCAPE	PLANTING PLAN
L1.0	PLANTING PLAN
ARCHITECTURAL	SITE PLAN
A1.0	SITE PLAN
A1.1	SITE PLAN
A2.0	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	THIRD FLOOR PLAN
A2.3	FIRST FLOOR REFLECTED CEILING PLAN
A2.4	SECOND FLOOR REFLECTED CEILING PLAN
A2.5	THIRD FLOOR REFLECTED CEILING PLAN
A2.6	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A7.0	SCHEDULES
A7.1	ASSEMBLIES
A8.0	DETAILS
A8.1	DETAILS
STRUCTURAL	GENERAL STRUCTURAL NOTES
S1.0	GENERAL STRUCTURAL NOTES
S1.1	GENERAL STRUCTURAL NOTES
S1.2	GENERAL STRUCTURAL NOTES
S1.3	TEMPORARY SHORING PLAN
S2.1	FOUNDATION PLAN
S2.2	SECOND FLOOR FRAMING PLAN
S2.3	THIRD FLOOR FRAMING PLAN
S2.4	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS
S3.1	FOUNDATION DETAILS
S4.0	FLOOR FRAMING DETAILS
S4.1	FLOOR FRAMING DETAILS
S4.2	FLOOR FRAMING DETAILS
S5.0	FRAMING DETAILS
MECHANICAL	MECHANICAL PLANS
M1.0	MECHANICAL PLANS

DRAWING SYMBOLS



PROJECT DATA

PROJECT DESCRIPTION
THIS PROJECT INCLUDES A NEW RESIDENTIAL DUPLEX ON AVILA BEACH DRIVE. THE FRONT ENTRANCE TO THE HOUSE WILL BE ACCESSED AT GRADE WITH AVILA BEACH DRIVE AND THE GARAGE ENTRANCE WILL BE AT GRADE WITH COLONY LANE. THE GRADING PACKAGE HAS BEEN SUBMITTED AS A SEPARATE PERMIT.

PROJECT ADDRESS 2855 AVILA DRIVE
AVILA BEACH, CA 93424

APN 076-196-017

ADJACENT APNS 076-196-021 (WEST) 076-196-018 (EAST) (OWNED)

ZONING RESIDENTIAL MULTI-FAMILY
CURRENT USE EMPTY LOT
PROPOSED USE DUPLEX 2BD AND 3BD UNITS
LOT SIZE 6,000 SQ FT
LOT COVERAGE 2,500 SQ FT (41%)
FAR 35%
OPEN SPACE PROVIDED 3,500 SQ FT (59%)

MAIN FLOOR		
LIVING SPACE UNIT ONE	588 SQ FT	
LIVING SPACE UNIT TWO	696 SQ FT	
DECK SPACE UNIT ONE	326 SQ FT	
DECK SPACE UNIT TWO	396 SQ FT	
UPPER FLOOR		
LIVING SPACE UNIT ONE	299 SQ FT	
LIVING SPACE UNIT TWO	474 SQ FT	
DECK SPACE UNIT ONE	286 SQ FT	
DECK SPACE UNIT TWO	304 SQ FT	
TOTAL		
LIVING SPACE	2,100 SQ FT	2,055 SQ FT
DECK SPACE	1,085 SQ FT	1,312 SQ FT
GARAGE + STORAGE	1,380 SQ FT	1,970 SQ FT
	ALLOWED	PROPOSED
BUILDING HEIGHT ABOVE AVERAGE NATURAL GRADE	25'-0"	25'-0"
BUILDING HEIGHT ABOVE AVILA BEACH DRIVE		21'-1"

BUILDING CODE DATA

SPRINKLERS:	REQUIRED:	YES
	PROPOSED:	YES
	V-B	
	R-3	
CONSTRUCTION TYPE:		
OCCUPANCY GROUP:		

SEPARATE PERMITS REQUIRED

FIRE SPRINKLER & CALCULATIONS NFPA 13D

PROJECT DIRECTORY

OWNER:
AVILA BEACH DREAMS LLC
PO BOX 3828
PASO ROBLES, CA 93447

CONTACT: PHIL CAGLIERO
PH: 805.239.3555
EMAIL: phil.cagliero@cmbachines.com

ARCHITECT:
TEN OVER STUDIO, INC.
539 MARSH STREET
SAN LUIS OBISPO, CA 93401

CONTACT: JIM DUFFY
PH: 805.541.1010
EMAIL: jimd@tenoverstudio.com

STRUCTURAL ENGINEER:
SMITH STRUCTURAL GROUP
811 EL CAPITAN WAY #240
SAN LUIS OBISPO, CA 93401

CONTACT: LEE ENGELMEIER
PH: 806.439.2110
EMAIL: lee@smithstructural.com

CIVIL ENGINEERING:
ABOVE GRADE ENGINEERING
245 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

CONTACT: SCOTT STOKES
PH: 805.540.5115
EMAIL: scott@abovegradeengineering.com

SURVEY:
ABOVE GRADE ENGINEERING
245 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

CONTACT: JEFF WYANT
PH: 805.540.5115
EMAIL: jwyant@abovegradeengineering.com

SOILS ENGINEER:
GEOSOLUTIONS, INC
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
PROJECT NUMBER: SL08222-1

CONTACT: JOHN KAMMER
PH: 805.543.8539
EMAIL: geosolutionsinfo@gmail.com

AGENCIES & UTILITIES

COUNTY OF SAN LUIS OBISPO - PLANNING & BUILDING DIVISION
976 OSOS STREET, ROOM 200
SAN LUIS OBISPO, CA 93401

PH: 805.781.5600

COUNTY OF SAN LUIS OBISPO - CDF / COUNTY FIRE
635 N. SANTA ROSA STREET
SAN LUIS OBISPO, CA 93405

PH: 805.543.4244

COUNTY OF SAN LUIS OBISPO - PUBLIC WORKS
976 OSOS STREET, ROOM 206
SAN LUIS OBISPO, CA 93408

PH: 805.781.5252

PACIFIC BELL
196 SUBURBAN ROAD
SAN LUIS OBISPO, CA 93401

PH: 805.546.7003

PG & E
406 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

PH: 800.743.5000

THE GAS COMPANY
833 MARSH STREET
SAN LUIS OBISPO, CA 93401

PH: 805.781.2429

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA HISTORICAL BUILDING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2016 CALIFORNIA REFERENCE STANDARDS CODE

SAN LUIS OBISPO COUNTY CODE: TITLE 19 BUILDING AND CONSTRUCTION ORDINANCE
SAN LUIS OBISPO COUNTY CODE: TITLE 22 LAND USE ORDINANCE
SAN LUIS OBISPO COUNTY CODE: TITLE 23 COASTAL ZONE LAND USE ORDINANCE

AVILA BEACH SPECIFIC PLAN

ADDITIONAL NOTES

PRIOR TO ANY SITE DISTURBANCE, A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL STAKE THE LOT CORNERS, BUILDING CORNERS, AND ESTABLISH AVERAGE NATURAL GRADE AND SET A REFERENCE POINT (BENCHMARK). AT FOUNDATION INSPECTION, PROVIDE CERTIFICATION FROM A LICENSED SURVEYOR OR CIVIL ENGINEER THAT THE STRUCTURE MEETS THE SETBACK REQUIREMENTS. PRIOR TO APPROVAL OF ROOF NAILING INSPECTION, THE APPLICANT SHALL PROVIDE THE BUILDING INSPECTOR WITH DOCUMENTATION THAT GIVES THE HEIGHT REFERENCE, THE ALLOWABLE HEIGHT AND THE ACTUAL HEIGHT OF THE STRUCTURE. THIS CERTIFICATION SHALL BE PREPARED BY A LICENSED SURVEYOR OR CIVIL ENGINEER. DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES, THE APPLICANT SHALL COMPLY WITH ALL REQUIREMENTS OF THE CULTURAL RESOURCES MONITORING PLAN DATED MAY 2008 AND REVISED DECEMBER 2008, INCLUDING RETAINING A CHUMASH REPRESENTATIVE DURING GROUND DISTURBANCE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO ENSURE COMPLIANCE WITH MITIGATION. PLEASE CALL TO SCHEDULE MEETING WITH TODD ADAMS, 781-5476. AT THE PRE-CONSTRUCTION MEETING DISCUSS BUILDING HEIGHT CONTROLS, SET BACK SURVEY, SHORING AND WORK ON ADJACENT PARCEL, REPORTS REQUIRED, PAD CERTIFICATION, SPECIAL INSPECTIONS, ETC.

GEOSOLUTIONS OR OTHER PRE-APPROVED QUALIFIED SPECIAL INSPECTOR SHALL PERFORM SOILS INSPECTION

AVERAGE NATURAL GRADE

LOW POINT	8.1 FT
HIGH POINT	18.3 FT
AVERAGE NATURAL GRADE	13.22'
MAXIMUM HEIGHT FROM BENCH MARK STAMPED "TIDAL 14 RESET" (VAD88)	38.22' (25' ABOVE AVERAGE NATURAL GRADE)

10

TEN OVER STUDIO, INC

539 Marsh Street,
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com



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AVILA COLONY DUPLEXES

2855 AVILA BEACH DRIVE (LOT 12)

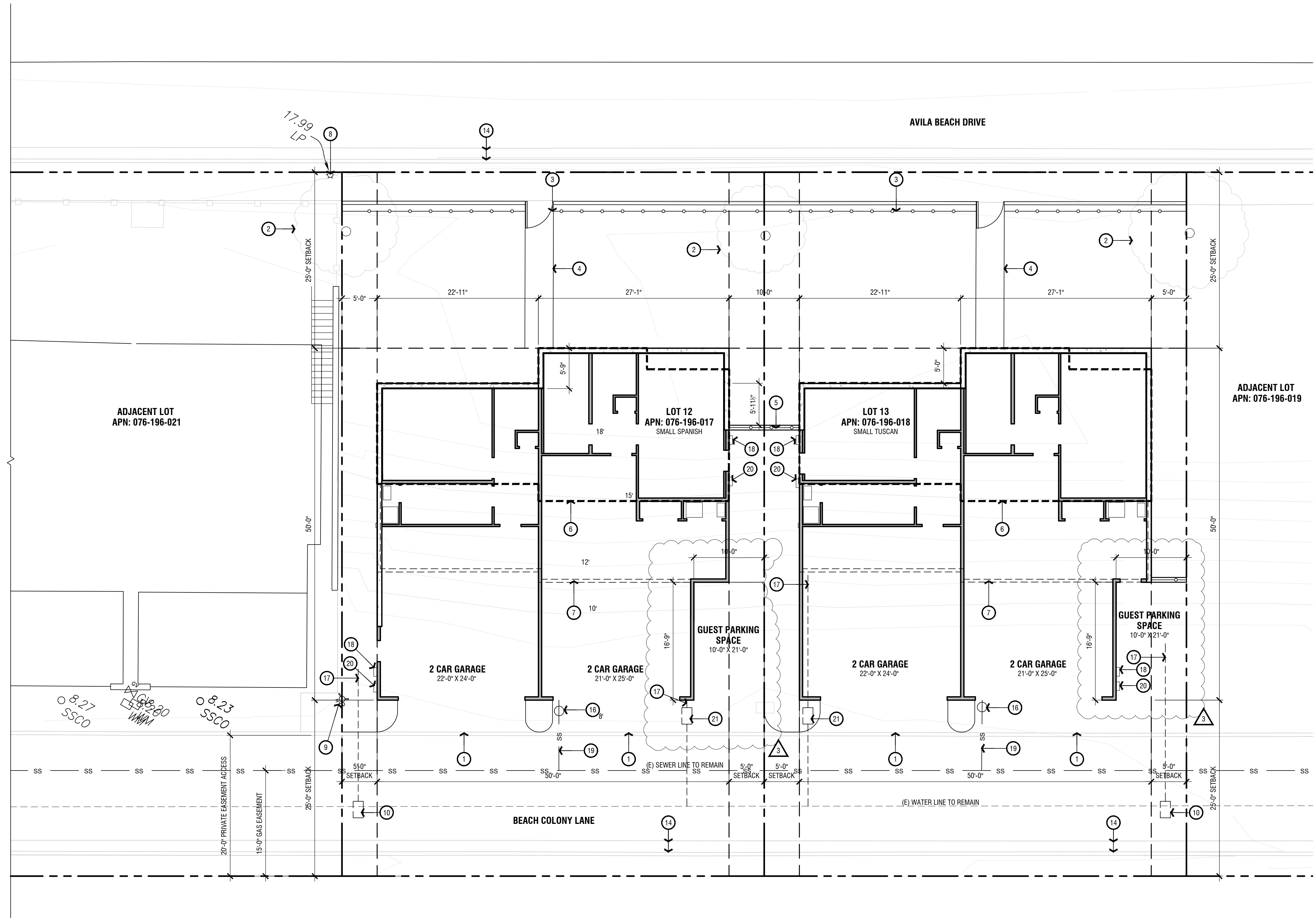
DRWN BY: WR
CHKD BY: JS

DATE	SUBMITTAL
07.30.18	PERMIT SET
11.12.18	FOR AVAC REVIEW
11.11.21	RESUBMITTAL I
1.12.21	RESUBMITTAL II
4.28.21	GUEST PARKING ADD

TITLE SHEET

T1.0

SEE SHEET A1.0



1 SITE PLAN
LOTS 12 AND 13

ARCHITECTURAL SITE PLAN LEGEND

	(E) PROPERTY LINE
	DIRECTION OF FLOW
	WATER LINE
	SANITARY SEWER LINE
	STORMDRAIN LINE
	GAS LINE
	TELEPHONE LINE
	ELECTRICAL LINE
	FIRE LINE

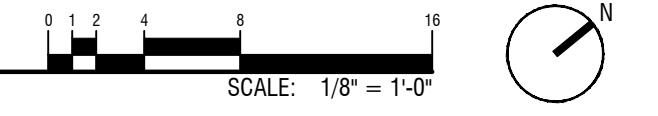
KEYNOTES

- 1 (E) CURB OF BEACH COLONY LANE TO BE REMOVED AND NEW DRIVEWAY TO BE INSTALLED PER CIVIL DRAWINGS. DRIVEWAY TO SLOPE AWAY FROM GARAGE DOOR MIN 1/4" PER FOOT, MAX 1" PER FOOT
- 2 (E) PALM TREE TO REMAIN, PROTECT IN PLACE
- 3 (N) 3' TALL MAX PERIMETER FENCE WITH INTEGRAL GATE
- 4 (N) PAVER WALKWAY TO PORCH AND FRONT DOOR
- 5 (N) CONCRETE CAST IN PLACE RETAINING WALL, REFER TO CIVIL DRAWINGS FOR DRAINAGE AND WALL HEIGHTS, REFER TO STRUCTURAL DRAWINGS FOR FOOTING SIZE
- 6 LINE OF THIRD FLOOR BUILDING FOOTPRINT
- 7 LINE OF SECOND FLOOR DECK ABOVE
- 8 (E) LIGHT POLE TO REMAIN
- 9 (E) FIRE HYDRANT TO REMAIN
- 10 (E) 1" WATER VALVE TO REMAIN, TO BE USED FOR A SINGLE UNIT
- 11 (E) SEWER MAN HOLE COVER TO REMAIN
- 12 (N) TANDEM GUEST PARKING SPACES
- 13 (N) WHEEL STOP

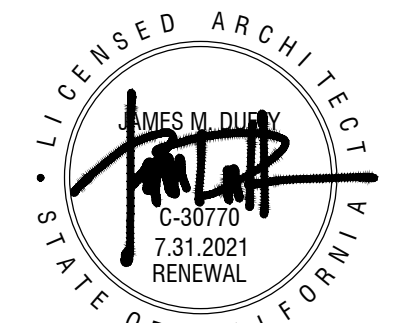
- 14 (E) CURB AND GUTTER
- 15 NOT USED
- 16 (N) SEWER CLEANOUT, REFER TO DETAIL 13/A8.1
- 17 INSTALL 1" SCH-40 PWC WATER SERVICE, SEE DETAIL 14/A8.1. CONTRACTOR TO COORDINATE P.O.C. WITH PLUMBING LOCATIONS, CONNECT TO EXISTING WATER METER BOX, CONTRACTOR TO POTHOLE AND FIELD VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION.
- 18 (N) ELECTRIC METER
- 19 INSTALL 4" ABS SEWER LATERAL, SEE DETAIL 14/A8.1. CONTRACTOR TO COORDINATE P.O.C. WITH PLUMBING LOCATIONS, CONNECT TO EXISTING SEWER MAIN, CONTRACTORS TO POTHOLE AND FIELD VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION. PROVIDE FLAPPER VALVE WITH ADEQUATE ACCESS TO MAINTENANCE
- 20 GAS METERS FOR BUILDING
- 21 NEW 1" WATER METER TO BE INSTALLED, TO BE USED FOR A SINGLE UNIT

SITE PLAN NOTES

ALL ELECTRICAL, TELECOMMUNICATION, AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION.



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AVILA COLONY DUPLEXES
2855 AVILA BEACH DRIVE (LOT 12)

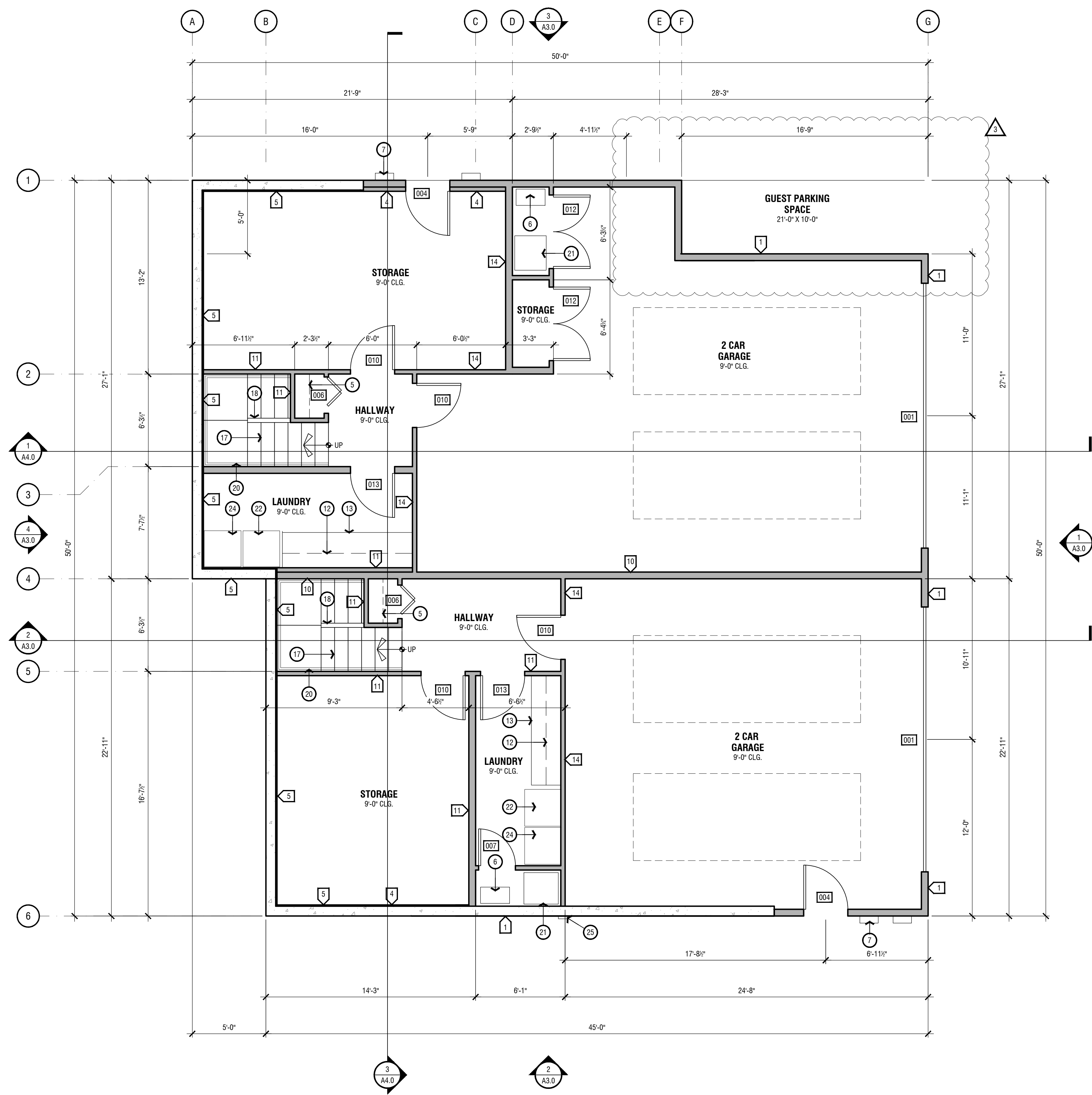
DRWN BY: WR	CHK'D BY: JS
DATE	SUBMITTAL
07.30.18	PERMIT SET
11.12.18	FOR AVAC REVIEW
11.11.20	RESUBMITTAL I
1.12.21	RESUBMITTAL II
4.28.21	GUEST PARKING ADD

SITE PLAN

A1.1

FLOOR PLAN LEGEND






- 2 WALL, REFER TO A7.1 FOR WALL SCHEDULES
- CONCRETE RETAINING WALL, REFER TO STRUCTURAL
- DOOR NUMBER, REFER TO SCHEDULE A7.0
- WINDOW NUMBER, REFER TO SCHEDULE A7.0
- WALL TYPE TAG, REFER TO SCHEDULE A7.1

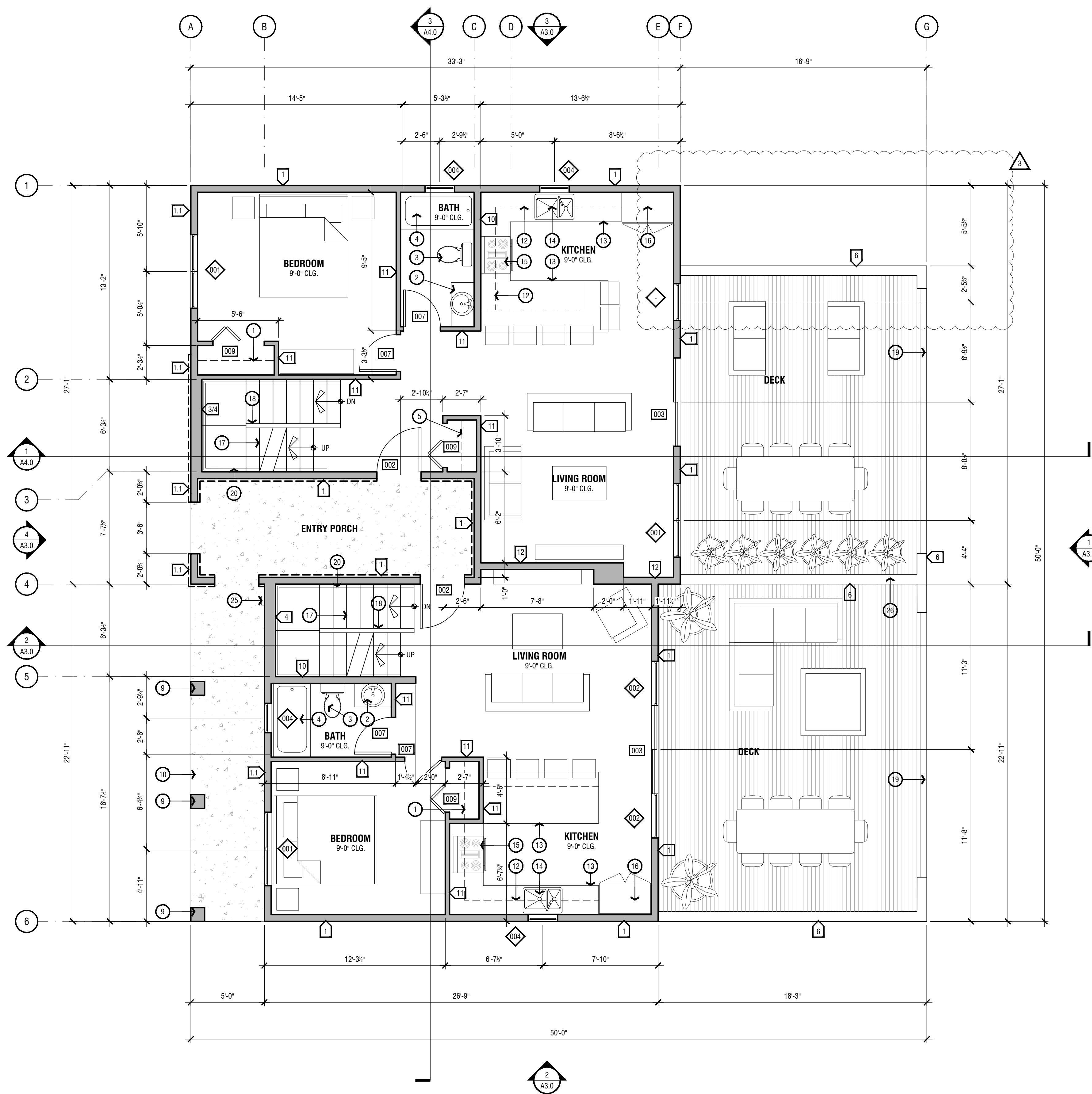


PLAN KEYNOTES

- 1 PROVIDE SHELF AND POLE MINIMUM AT ALL CLOSETS. CONSULT OWNER PRIOR TO INSTALLATION
- 2 BUILT IN BASE CABINETS AND BATH SINK - OWNER SELECT, CONTRACTOR INSTALL
- 3 TOILET TO CONFORM TO 2016 CALGREEN, NOT TO EXCEED 1.28 GALLONS PER FLUSH. REFER TO GENERAL NOTES SHEET - OWNER SELECT, CONTRACTOR INSTALL
- 4 INTEGRATED SHOWER AND TUB UNIT TO CONFORM TO 2016 CALGREEN, SHOWER HEAD NOT TO EXCEED MAX FLOW RATE OF MORE THAN 2 GALLONS PER MINUTE AT 80 PSI. REFER TO GENERAL NOTES SHEET - OWNER SELECT, CONTRACTOR INSTALL, SEE DETAIL 16/A8.0
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- 7 200 AMP ELECTRICAL PANEL MOUNTED TO EXTERIOR OF HOUSE; CONTRACTOR TO VERIFY REQUIRED CLEARANCES WITH UTILITY COMPANY; PROVIDE AT LEAST ONE DEDICATED 20 AMP BRANCH CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS PER CEC 210.11C.3. PROVIDE DEDICATED 20 AMP CIRCUITS TO KITCHEN APPLIANCES. DEDICATED CIRCUITS SHALL HAVE NO OTHER OUTSETS PER CEC 210.538. PROVIDE ROD FOR GROUNDING. ELECTRICAL PANEL TO BE SOLAR RATED FOR FUTURE INSTALLATION OF SOLAR PANELS.
- 8 DOWNSPOUT AND SPLASHBLOCK
- 9 WOOD POST, REFER TO STRUCTURAL
- 10 CONCRETE PATIO
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- 12 12" DEEP UPPER CABINETS - OWNER SELECT, CONTRACTOR INSTALL
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- 18 WALL TO EXTEND MINIMUM 42" ABOVE NOSE OF STAIR TREAD
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- 20 WALL MOUNTED HAND RAIL, REFER TO DETAIL 9/A8.0
- 21 LISTED FORCED AIR UNIT IN STORAGE CLOSET. PROVIDE CLEARANCE PER MANUFACTURER'S INSTALLATION REQUIREMENTS; PROVIDE LISTED VENT FLUE THROUGH EXTERIOR WALL COMPLAINT WITH 2016 CMC 802.6
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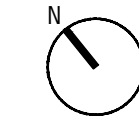
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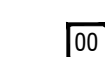


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FLOOR PLAN LEGEND

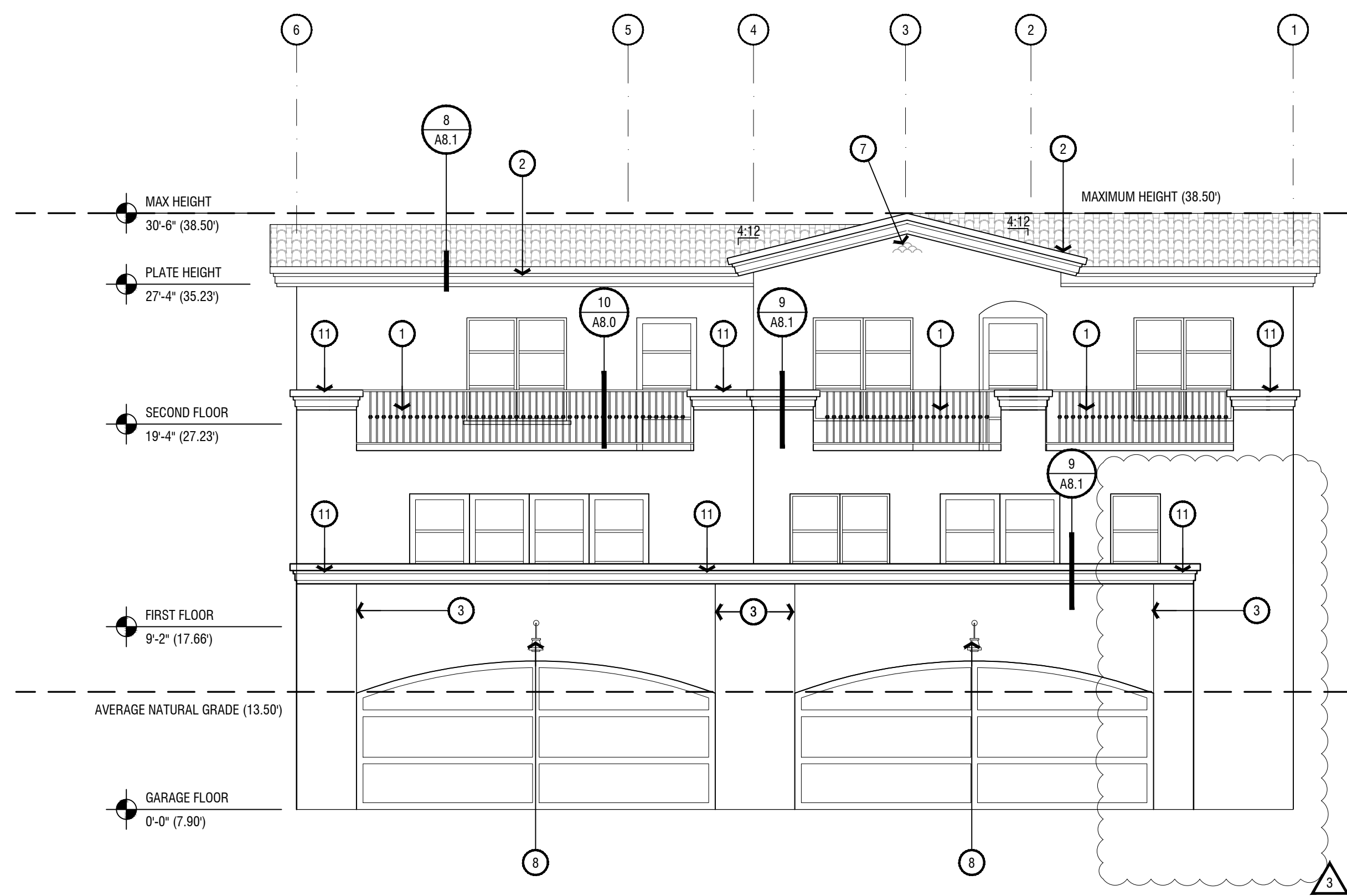
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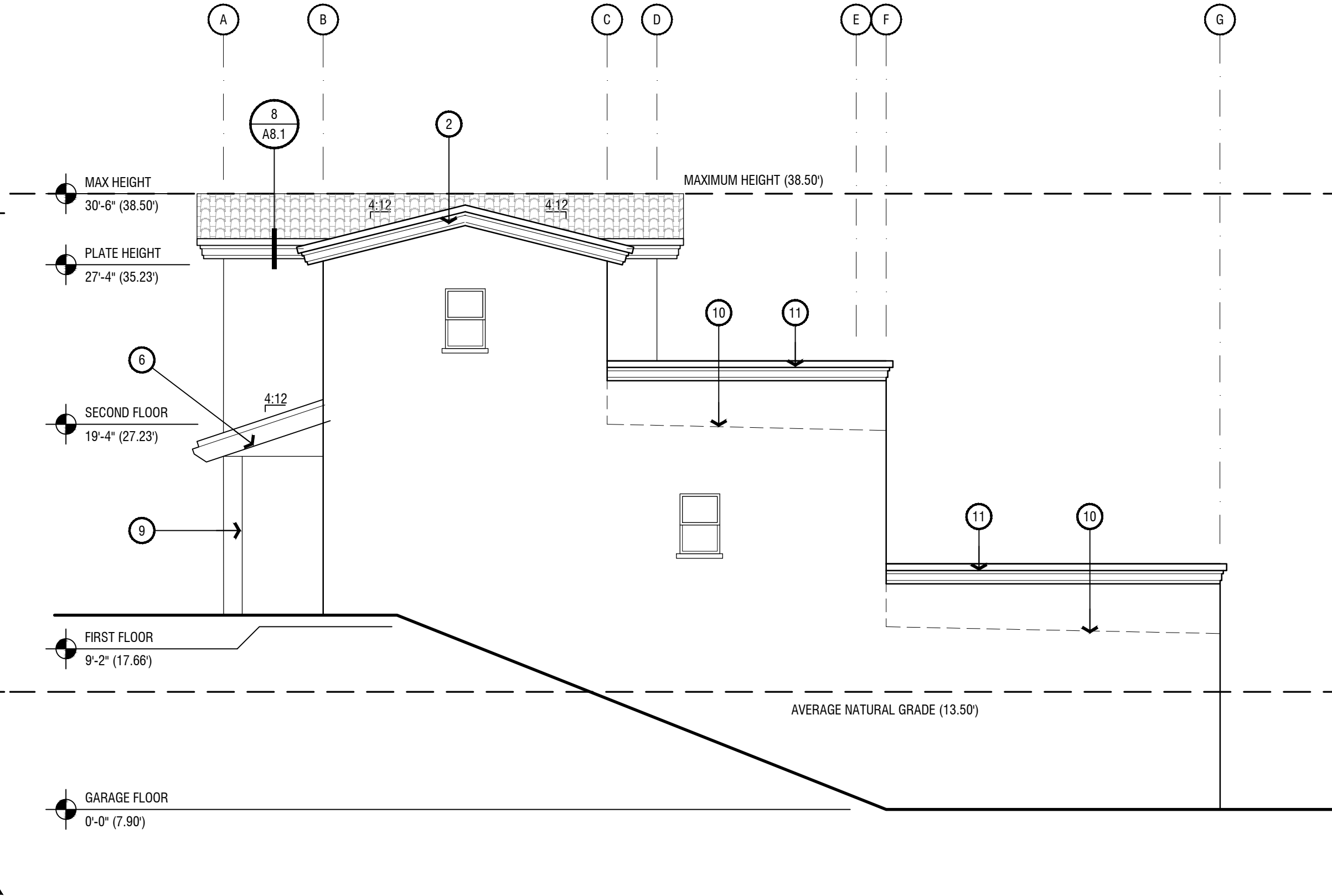
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DRWN BY: WR	CHKD BY: JS
DATE	SUBMITTAL
07.30.18	PERMIT SET
11.12.18	FOR AVAC REVIEW
11.11.20	RESUBMITTAL I
1.12.21	RESUBMITTAL II
4.28.21	GUEST PARKING ADD



1 SOUTH ELEVATION
SPANISH SMALL


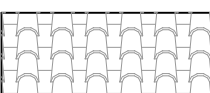

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SPANISH SMALL

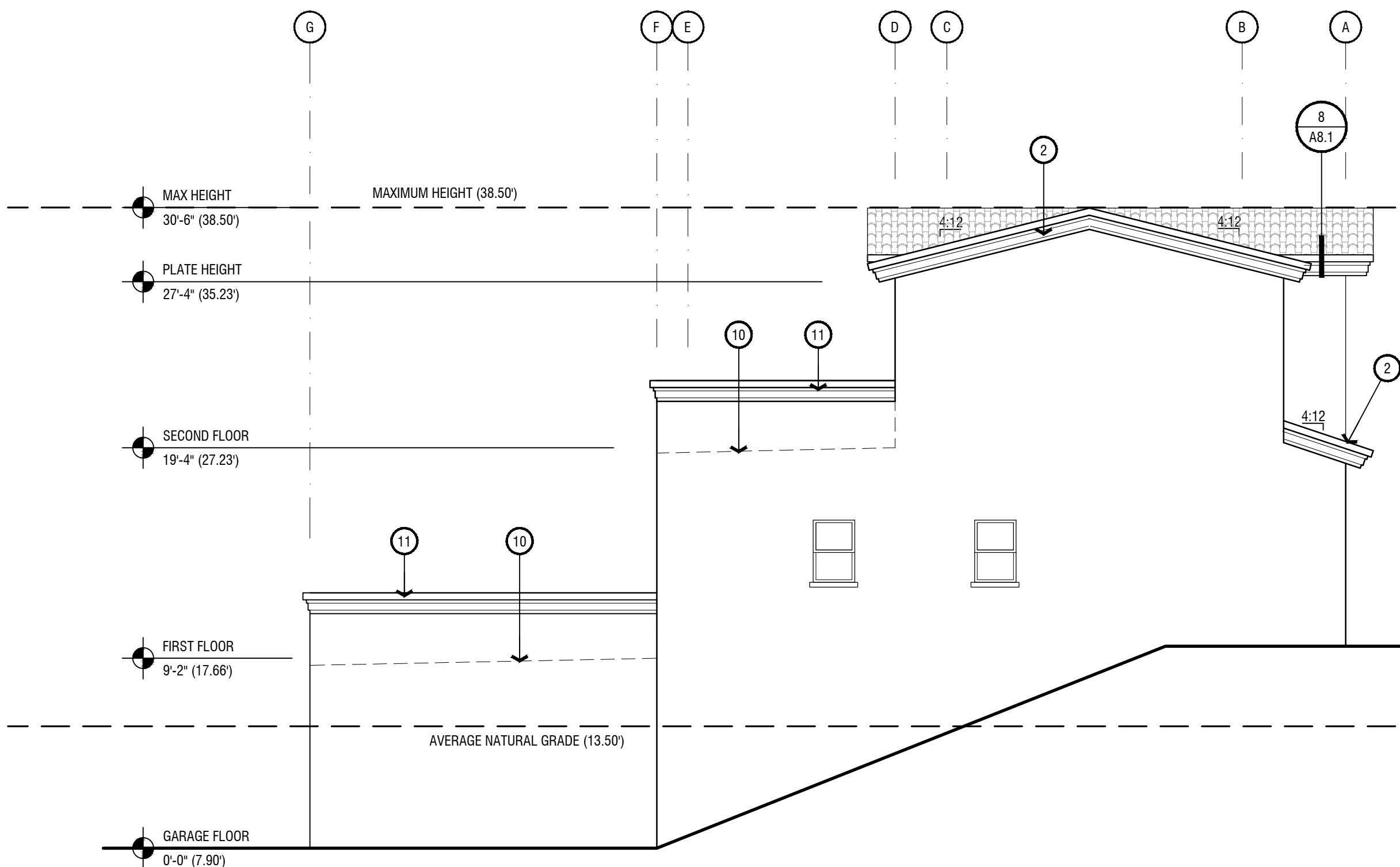
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS LEGEND

-  STONE VENEER
-  CLASS 'A' - CLAY 'S' TILE ROOFING - TERRACOTTA GOLD OR APPROVED EQUAL
-  PAINTED STUCCO - LAHABRA DOVE GREY OR APPROVED EQUAL

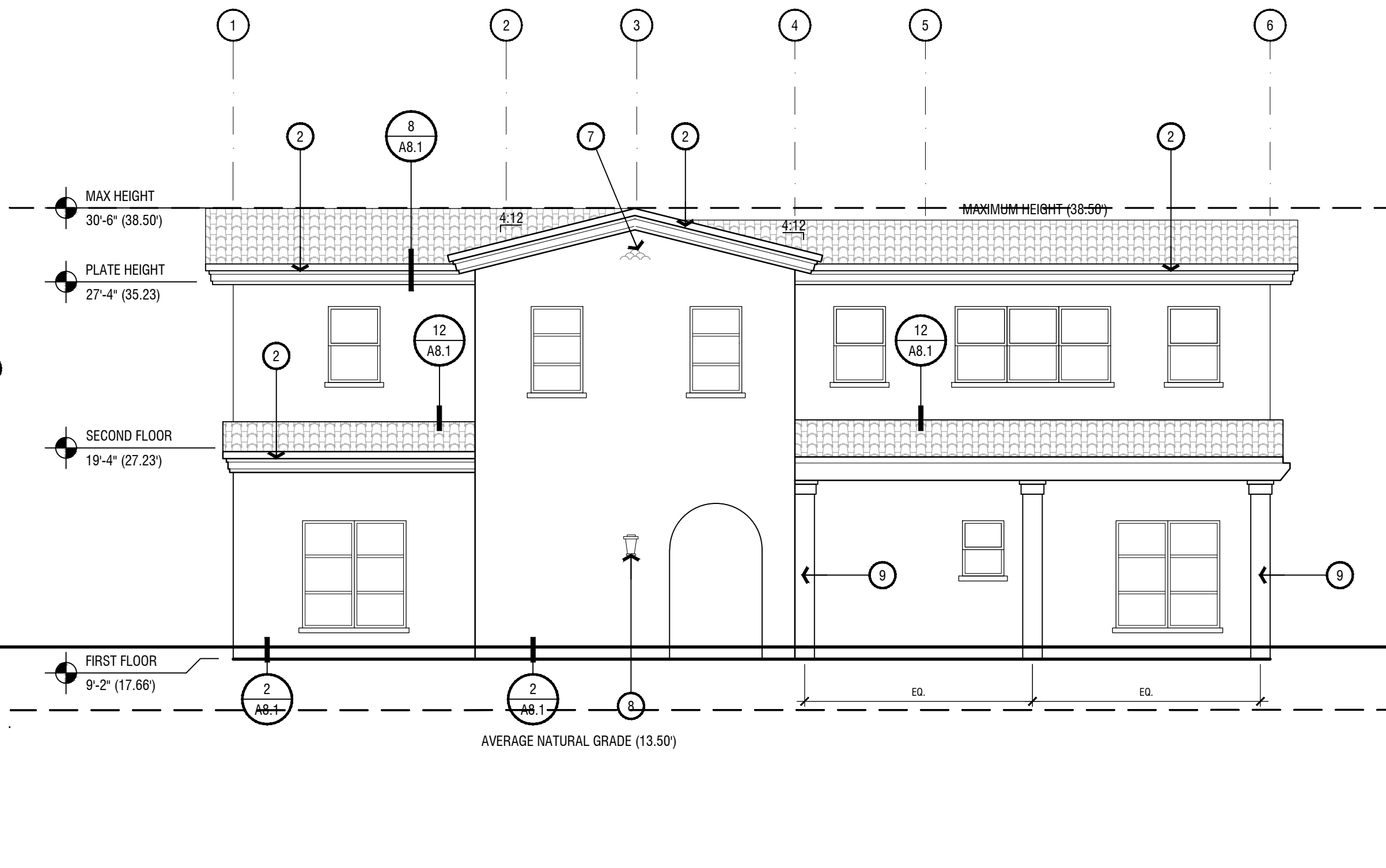
KEYNOTES

- ① WROUGHT IRON RAILING
- ② STONE ARCHED HEADER
- ③ EXPOSED RAFTER TAILS TYP.
- ④ DOWNSPOUT TYP.
- ⑤ GUTTER ATTACHED TO RAFTER TAILS TYP., SEE EAVE DETAIL 7/A8.1 AND 8/A8.1
- ⑥ PORCH ROOF
- ⑦ VENT OPENING WITH STACKED TILE
- ⑧ EXTERIOR WALL MOUNTED LIGHT TYP.
- ⑨ EXPOSED WOOD COLUMN TYP.
- ⑩ LINE OF DECK BEYOND
- ⑪ STUCCO CAP, REFER TO DETAIL 9/A8.1



3 WEST ELEVATION
SPANISH SMALL

SCALE: 3/16" = 1'-0"



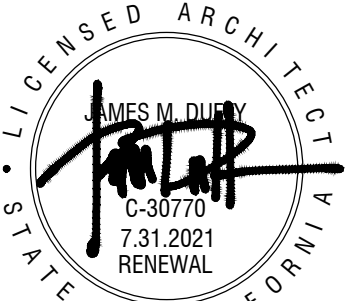
4 NORTH ELEVATION
SPANISH SMALL

SCALE: 3/16" = 1'-0"

10

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2855 AVILA BEACH DRIVE (LOT 12)

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EXTERIOR
ELEVATIONS

A3.0

ABBREVIATIONS

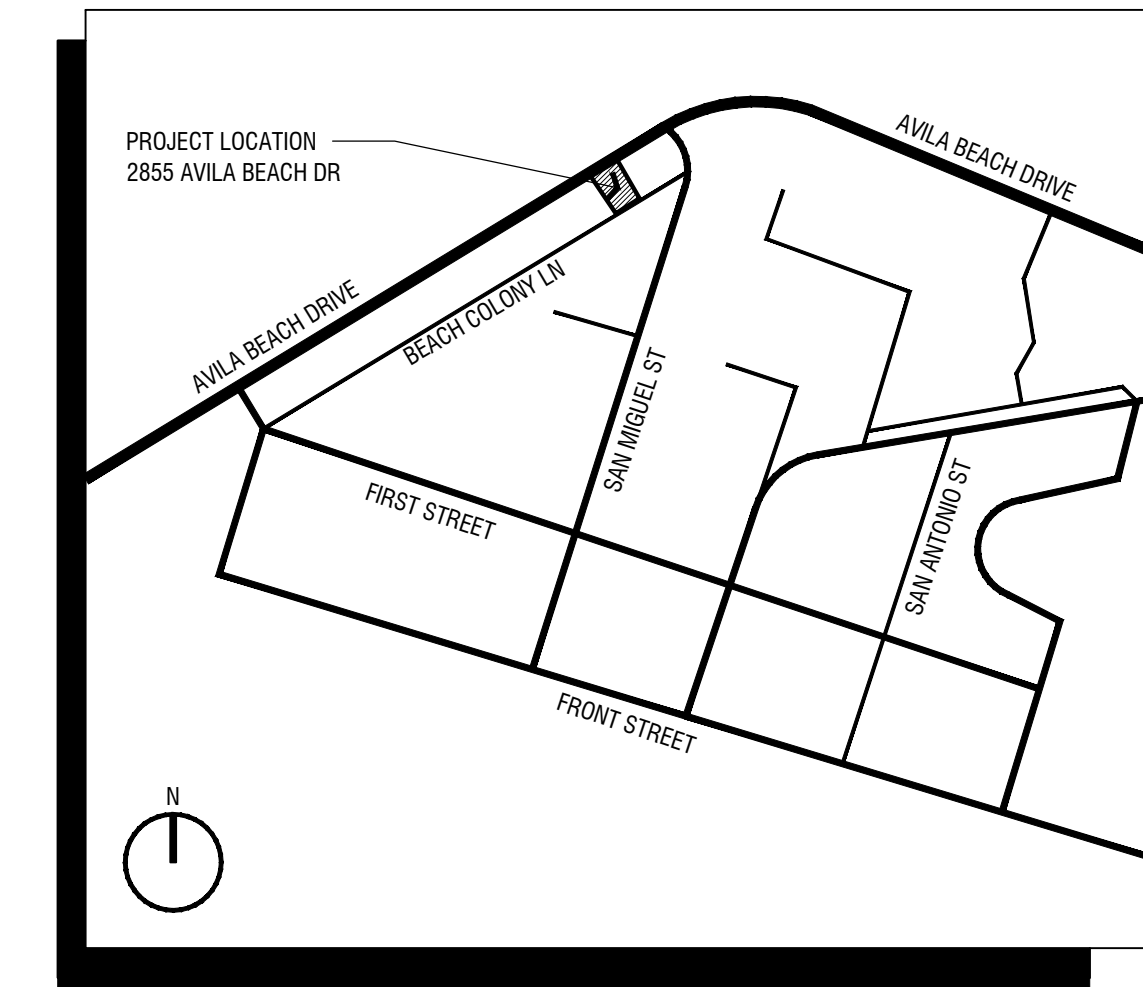
AB ANCHOR BOLT	INFO INFORMATION
AC AIR CONDITIONER	INSUL INSULATION
ADJ ADJACENT	INT INTERIOR
AFF ABOVE FINISH FLOOR	INV INVERT
AL ALUMINUM	JAN JANITOR
APPROX. APPROXIMATELY	KIT KITCHEN
ASPH ASPHALT	LAM LAMINATED
AVG AVERAGE	LAV LAVATORY
BD BOARD	LB/# POUND
BLDG BUILDING	L.F./L.F. LINEAR FLOOR
BLK/BLKG BLOCK/BLOCKING	LS LAG SCREW
BM BEAM	MAX MAXIMUM
BN BULLNOSE	MB MACHINE BOLT
BOT BOTTOM	MECH MECHANICAL
C.F. CUBIC FOOT	MFR MANUFACTURER
C.I. CUBIC INCH	MIN MINIMUM
CI CAST IRON	MISC MISCELLANEOUS
CJ CEILING JOIST/CONTROL JOINT	MTL METAL
CL CENTER LINE	(N) NEW
CLR CLEAR/CLEARANCE	N.G./NG NATURAL GRADE
CLG CEILING	NO. / # NUMBER
CLKG CAULKING	NTS NOT TO SCALE
CMU CONCRETE MASONRY UNIT	O/ OVER
CO CLEANOUT	OSB OBSOLETE
COL COLUMN	O.C./OC ON CENTER
CONC CONCRETE	OPCI OWNER PROVIDED.
CONN CONNECTION	OPCI CONTRACTOR INSTALLED
CONST CONSTRUCTION	OPOI OWNER PROVIDED.
CONT CONTINUOUS	OPI OWNER INSTALLED
CTR CENTER	OS OCCUPANCY SENSOR
CW COLD WATER	OZ OUNCE
C.Y. CUBIC YARD	PERF PERFORATED
DBL DOUBLE	PERP PERPENDICULAR
DEG DEGREE	PH PHONE
DEPT DEPARTMENT	PL PLATE/PROPERTY LINE
DET DETAIL	PLYWD PLYWOOD
DF DOUGLAS FIR	FR PAIR
DIA DIAMETER	PREFAB PRE-FABRICATED
DIM DIMENSION	P.S.F. POUNDS PER SQUARE FOOT
DN DOWN	P.S.I. POUNDS PER SQUARE INCH
DS DOWNSPOUT	PTDF PRESSURE TREATED DOUG FIR
DW DISHWASHER	PVMT PAVEMENT
EA EACH	R RISER
EJ EXPANSION JOINT	RD ROOF DRAIN
ELEC ELECTRICAL	REF REFRIGERATOR
ELEV ELEVATION/ELEVATOR	REQ REQUIRED
ENCL ENCLOSURE	RM ROOM
EOS EDGE OF SLAB	RO ROUGH OPENING
EQ EQUAL	ROW RIGHT OF WAY
EQUIP EQUIPMENT	RTS REFER TO STRUCTURAL
EST ESTIMATE	RWD REDWOOD
EXIST(E) EXISTING	SAS SURFACED 4 SIDES
EXT EXTERIOR	SC SOLID CORE
FAU FORCED AIR UNIT	SD SMOKE DETECTOR
FH FIRE HYDRANT	S.F./SF SQUARE FOOT
F.O.C. FACE OF CURB	SHIT SHEET
F.O.F. FACE OF FINISH	SHGT SHEATHING
F.O.S. FACE OF STUD	SIM SIMILAR
FD FLOOR DRAIN	SPEC SPECIFICATION
FDN FOUNDATION	SST STAINLESS STEEL
FE FIRE EXTINGUISHER	STD STANDARD
FF FINISH FLOOR	SYM SYMBOL
F.G./FG FINISH GRADE	STL STEEL
FIN FINISH	T&G TONGUE AND GROOVE
FIX FIXTURE	REA REA
FLR FLOOR	T THK THICKNESS
FOS FACE OF STUD	TEL TELEPHONE
FP FIREPLACE / FLOOR PLAN	TEMP TEMPERATURE
F.S./FS FINISH SURFACE	T.O.C. TOP OF CURB
FT FOOT	T.O.F. TOP OF FOOTING
FTG FOOTING	T.O.W. TOP OF WALL
G GAS	T.O.S. TOP OF SLAB
GA GAUGE	TV TELEVISION
GALV GALVANIZED	TYP TYPICAL
GD GARBAGE DISPOSAL	UNO UNLESS NOTED OTHERWISE
GL GLASS	VCT VINYL COMPOSITION TILE
GYP GYPSUM	VERT VERTICAL
HC HOSE BIBB	V.I.F. VERIFY IN FIELD
HCB HOLLOW CORE	W/ WITH
HDR HEADER	W/O WITHOUT
HORIZ HORIZONTAL	WC WATER CLOSET
HRDW HARDWARE	WD WOOD
HT HEIGHT	WH WATER HEATER
HW HOT WATER	W.I.C. WALK IN CLOSET
IN INCH	WT WEIGHT
INCL INCLUDE	YD YARD

AVILA COLONY DUPLEXES

2845 AVILA BEACH DRIVE



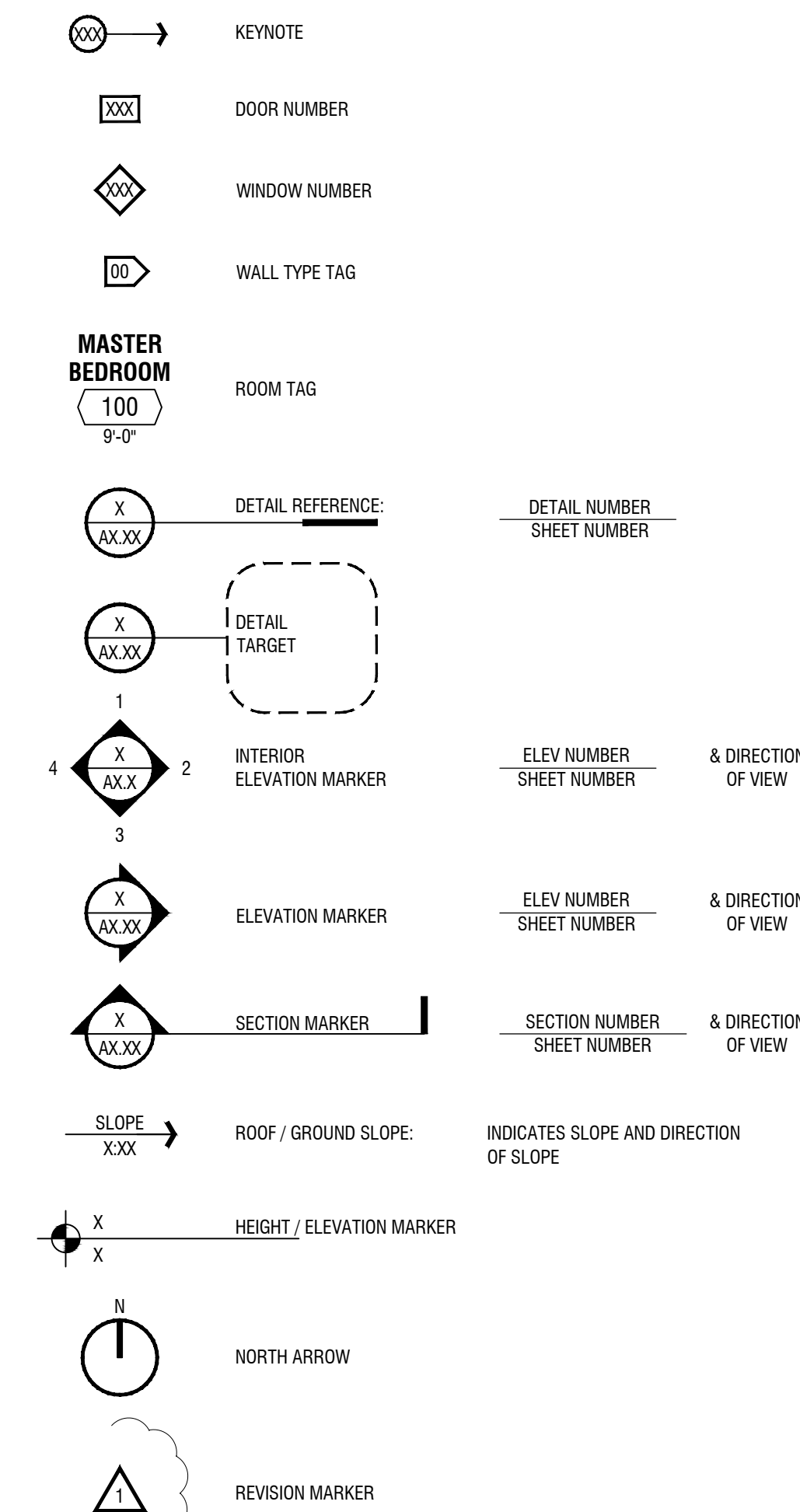
VICINITY MAP



SHEET INDEX

TITLE / CODE	TITLE SHEET
T1.0	TITLE SHEET
T1.1	CONDITIONS OF APPROVAL
T2.0	GENERAL NOTES
T2.1	CALGREEN COMPLIANCE
T2.2	GREEN POINTS
T3.0	TITLE 24
T3.1	TITLE 24
BENCHMARK / BOUNDARY SURVEY	TOPOGRAPHIC MAP
1	TOPOGRAPHIC MAP
CIVIL	NOTE SHEET
C0.1	NOTE SHEET
C1.1	GRADING AND DRAINAGE PLAN
C1.2	CROSS SECTIONS
C1.3	LOT INFORMATION
C2.1	EROSION CONTROL PLAN
LANDSCAPE	PLANTING PLAN
L1.0	PLANTING PLAN
ARCHITECTURAL	SITE PLAN
A1.0	SITE PLAN
A1.1	SITE PLAN
A2.0	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	THIRD FLOOR PLAN
A2.3	FIRST FLOOR REFLECTED CEILING PLAN
A2.4	SECOND FLOOR REFLECTED CEILING PLAN
A2.5	THIRD FLOOR REFLECTED CEILING PLAN
A2.6	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A7.0	SCHEDULES
A7.1	ASSEMBLIES
A8.0	DETAILS
A8.1	DETAILS

DRAWING SYMBOLS



PROJECT DATA

PROJECT DESCRIPTION
THIS PROJECT INCLUDES A NEW RESIDENTIAL DUPLEX ON AVILA BEACH DRIVE. THE FRONT ENTRANCE TO THE HOUSE WILL BE ACCESSED AT GRADE WITH AVILA BEACH DRIVE AND THE GARAGE ENTRANCE WILL BE AT GRADE WITH COLONY LANE. THE GRADING PACKAGE HAS BEEN SUBMITTED AS A SEPARATE PERMIT.

PROJECT ADDRESS	2845 AVILA DRIVE AVILA BEACH, CA 93424
APN	076-196-018
ADJACENT APN'S	076-196-017 (WEST) (OWNED) 076-196-019 (EAST)
ZONING	RESIDENTIAL MULTI-FAMILY
CURRENT USE	EMPTY LOT
LOT SIZE	6,000 SQ FT
LOT COVERAGE	2,500 SQ FT (41%)
FAR	35%
OPEN SPACE PROVIDED	3,500 SQ FT (59%)
ALLOWED	PROPOSED
MAIN FLOOR	
LIVING SPACE UNIT ONE	586 SQ FT
LIVING SPACE UNIT TWO	696 SQ FT
DECK SPACE UNIT ONE	326 SQ FT
DECK SPACE UNIT TWO	396 SQ FT
UPPER FLOOR	
LIVING SPACE UNIT ONE	299 SQ FT
LIVING SPACE UNIT TWO	474 SQ FT
DECK SPACE UNIT ONE	286 SQ FT
DECK SPACE UNIT TWO	304 SQ FT
TOTAL	
LIVING SPACE	2,100 SQ FT
DECK SPACE	1,085 SQ FT
GARAGE + STORAGE	1,380 SQ FT
ALLOWED	PROPOSED
BUILDING HEIGHT ABOVE AVERAGE NATURAL GRADE	25'-0"
BUILDING HEIGHT ABOVE AVILA BEACH DRIVE	21'-1"

BUILDING CODE DATA

SPRINKLERS:	REQUIRED: YES	PROPOSED: YES
CONSTRUCTION TYPE:	V-8	R-3
OCCUPANCY GROUP:		

SEPARATE PERMITS REQUIRED

FIRE SPRINKLER & CALCULATIONS	NFPA 130
-------------------------------	----------

PROJECT DIRECTORY

OWNER:
AVILA BEACH DREAMS LLC
PO BOX 3828
PASO ROBLES, CA 93447

CONTACT:
PH: 805.239.3555
EMAIL: phil.cagliero@cmbachines.com

ARCHITECT:
TEN OVER STUDIO, INC.
539 MARSH STREET
SAN LUIS OBISPO, CA 93401

CONTACT:
PH: 805.541.1010
EMAIL: jimduffy@tenoverstudio.com

STRUCTURAL ENGINEER:
SMITH STRUCTURAL GROUP
811 EL CAPITAN WAY #240
SAN LUIS OBISPO, CA 93401

CONTACT:
PH: 806.439.2110
EMAIL: lee@smithstructural.com

CIVIL ENGINEERING:
ABOVE GRADE ENGINEERING
245 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

CONTACT:
PH: 805.540.5115
EMAIL: scott@abovegradeengineering.com

SURVEY:
ABOVE GRADE ENGINEERING
245 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

CONTACT:
PH: 805.540.5115
EMAIL: jwyant@abovegradeengineering.com

SOILS ENGINEER:
GEOSOLUTIONS, INC
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
PROJECT NUMBER: SL08222-1

CONTACT:
PH: 805.543.8539
EMAIL: geosolutionsinfo@gmail.com

AGENCIES & UTILITIES

COUNTY OF SAN LUIS OBISPO - PLANNING & BUILDING DIVISION
976 OSOS STREET, ROOM 200
SAN LUIS OBISPO, CA 93401

PH: 805.781.5600

COUNTY OF SAN LUIS OBISPO - CDF / COUNTY FIRE
635 N. SANTA ROSA STREET
SAN LUIS OBISPO, CA 93405

PH: 805.543.4244

COUNTY OF SAN LUIS OBISPO - PUBLIC WORKS
976 OSOS STREET, ROOM 206
SAN LUIS OBISPO, CA 93408

PH: 805.781.5252

PACIFIC BELL
196 SUBURBAN ROAD
SAN LUIS OBISPO, CA 93401

PH: 805.546.7003

PG & E
406 HIGUERA STREET
SAN LUIS OBISPO, CA 93401

PH: 800.743.5000

THE GAS COMPANY
833 MARSH STREET
SAN LUIS OBISPO, CA 93401

PH: 805.781.2429

CALIFORNIA CODE REFERENCES

THIS PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

- 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA HISTORICAL BUILDING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2016 CALIFORNIA REFERENCE STANDARDS CODE

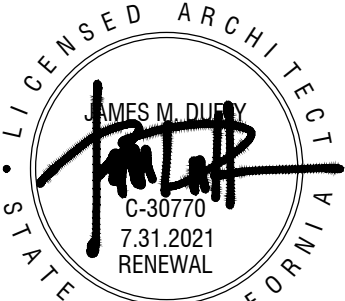
- SAN LUIS OBISPO COUNTY CODE: TITLE 19 BUILDING AND CONSTRUCTION ORDINANCE
- SAN LUIS OBISPO COUNTY CODE: TITLE 22 LAND USE ORDINANCE
- SAN LUIS OBISPO COUNTY CODE: TITLE 23 COASTAL ZONE LAND USE ORDINANCE

AVILA BEACH SPECIFIC PLAN

10

TEN OVER STUDIO, INC

539 Marsh Street,
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com



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AVILA COLONY DUPLEXES

2845 AVILA BEACH DRIVE (LOT 13)

DRWN BY: WR
CHKD BY: JS

DATE	SUBMITTAL
07.30.18	PERMIT SET
11.12.18	FOR AVAC REVIEW
11.11.20	RESUBMITTAL I
1.12.21	RESUBMITTAL II
4.28.21	GUEST PARKING ADD

TITLE SHEET

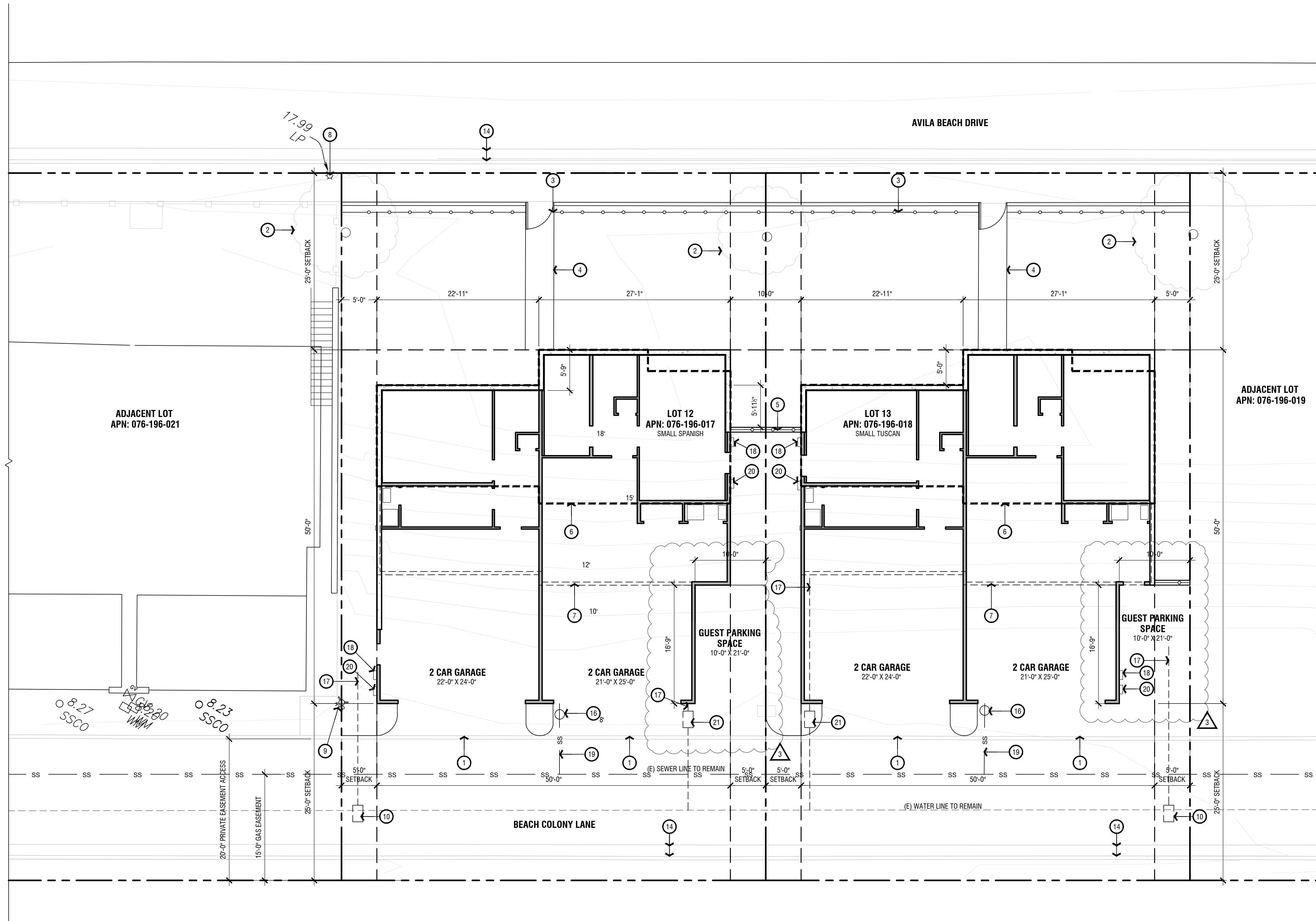
T1.0



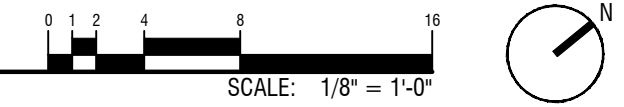
AVERAGE NATURAL GRADE

LOW POINT	8.1 FT
HIGH POINT	18.19 FT
AVERAGE NATURAL GRADE	13.15'
MAXIMUM HEIGHT FROM BENCH MARK STAMPED "TIDAL 14 RESE" (VAD88)	38.15' (25' ABOVE AVERAGE NATURAL GRADE)

SEE SHEET A1.0



1 SITE PLAN
LOTS 12 AND 13



ARCHITECTURAL SITE PLAN LEGEND

	(E) PROPERTY LINE
	DIRECTION OF FLOW
	WATER LINE
	SANITARY SEWER LINE
	STORMDRAIN LINE
	GAS LINE
	TELEPHONE LINE
	ELECTRICAL LINE
	FIRE LINE

KEYNOTES

- 1 (E) CURB OF BEACH COLONY LANE TO BE REMOVED AND NEW DRIVEWAY TO BE INSTALLED PER CIVIL DRAWINGS. DRIVEWAY TO SLOPE AWAY FROM GARAGE DOOR MIN 1/4" PER FOOT, MAX 1" PER FOOT
- 2 (E) PALM TREE TO REMAIN, PROTECT IN PLACE
- 3 (N) 3' TALL MAX PERIMETER FENCE WITH INTEGRAL GATE
- 4 (N) PAVER WALKWAY TO PORCH AND FRONT DOOR
- 5 (N) CONCRETE CAST IN PLACE RETAINING WALL, REFER TO CIVIL DRAWINGS FOR DRAINAGE AND WALL HEIGHTS, REFER TO STRUCTURAL DRAWINGS FOR FOOTING SIZE
- 6 LINE OF THIRD FLOOR BUILDING FOOTPRINT
- 7 LINE OF SECOND FLOOR DECK ABOVE
- 8 (E) LIGHT POLE TO REMAIN
- 9 (E) FIRE HYDRANT TO REMAIN
- 10 (E) 1" WATER VALVE TO REMAIN, TO BE USED FOR A SINGLE UNIT
- 11 (E) SEWER MAN HOLE COVER TO REMAIN
- 12 (N) TANDEM GUEST PARKING SPACES
- 13 (N) WHEEL STOP

- 14 (E) CURB AND GUTTER
- 15 NOT USED
- 16 (N) SEWER CLEANOUT, REFER TO DETAIL 13/A8.1
- 17 INSTALL 1" SCH-40 PWC WATER SERVICE, SEE DETAIL 14/A8.1. CONTRACTOR TO COORDINATE P.O.C. WITH PLUMBING LOCATIONS, CONNECT TO EXISTING WATER METER BOX, CONTRACTOR TO POTHOLE AND FIELD VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION.
- 18 (N) ELECTRIC METER
- 19 INSTALL 4" ABS SEWER LATERAL, SEE DETAIL 14/A8.1. CONTRACTOR TO COORDINATE P.O.C. WITH PLUMBING LOCATIONS, CONNECT TO EXISTING SEWER MAIN, CONTRACTORS TO POTHOLE AND FIELD VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION. PROVIDE FLAPPER VALVE WITH ADEQUATE ACCESS TO MAINTENANCE
- 20 GAS METERS FOR BUILDING
- 21 NEW 1" WATER METER TO BE INSTALLED, TO BE USED FOR A SINGLE UNIT

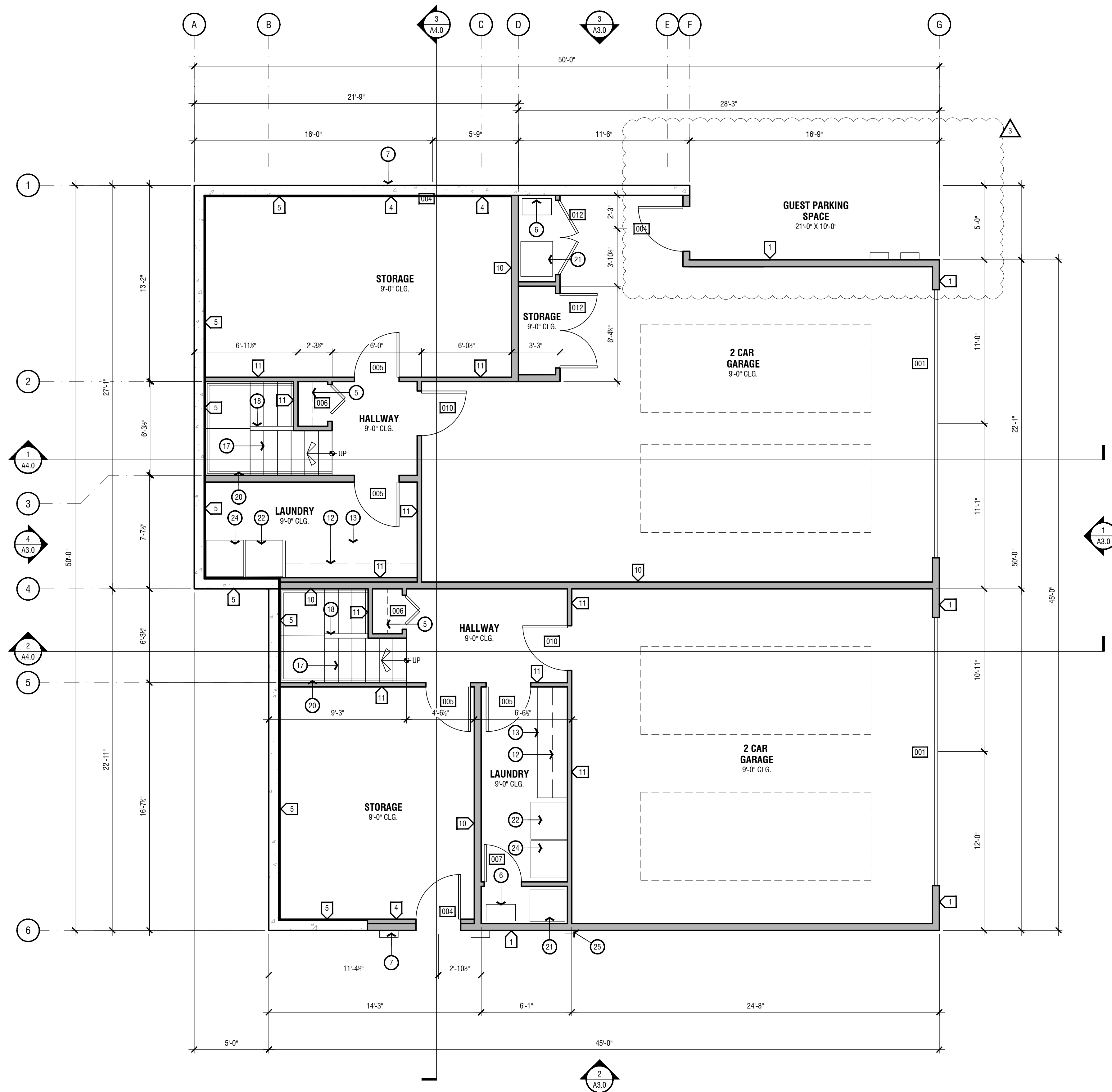
SITE PLAN NOTES

ALL ELECTRICAL, TELECOMMUNICATION, AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION.

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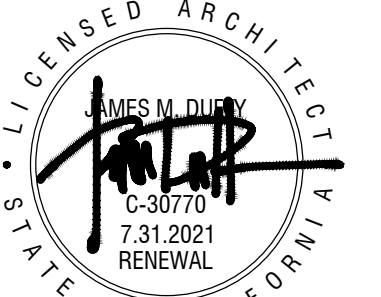


FLOOR PLAN LEGEND

- 2 WALL, REFER TO A7.1 FOR WALL SCHEDULES
- CONCRETE RETAINING WALL, REFER TO STRUCTURAL
- DOOR NUMBER, REFER TO SCHEDULE A7.0
- WINDOW NUMBER, REFER TO SCHEDULE A7.0
- WALL TYPE TAG, REFER TO SCHEDULE A7.1

PLAN KEYNOTES

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- 7 DOWNSPOUT AND SPLASHBLOCK
- 8 WOOD POST, REFER TO STRUCTURAL
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- 26 LINE OF STRUCTURE ABOVE








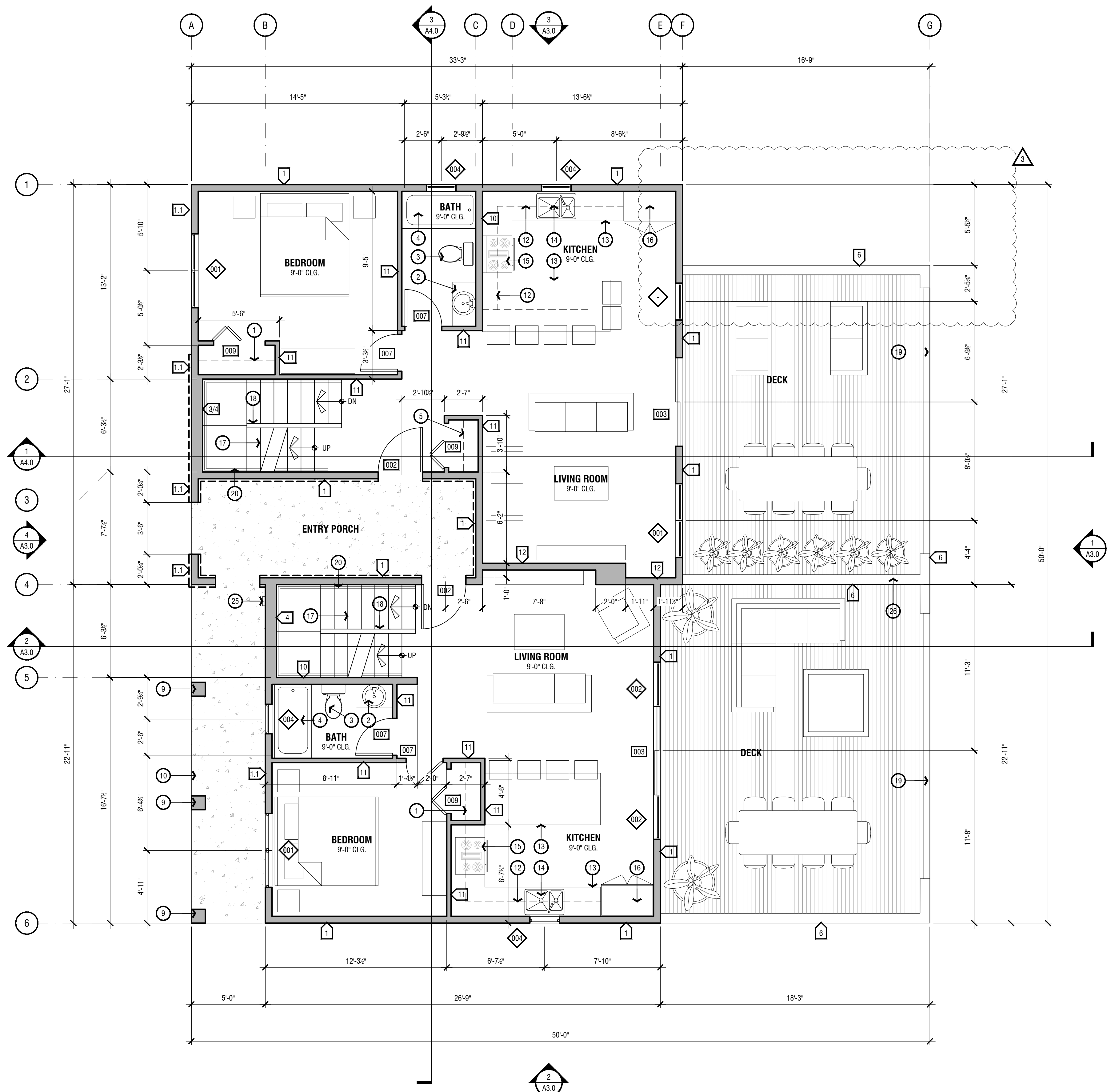
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FLOOR PLAN LEGEND





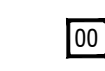
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FLOOR PLAN LEGEND

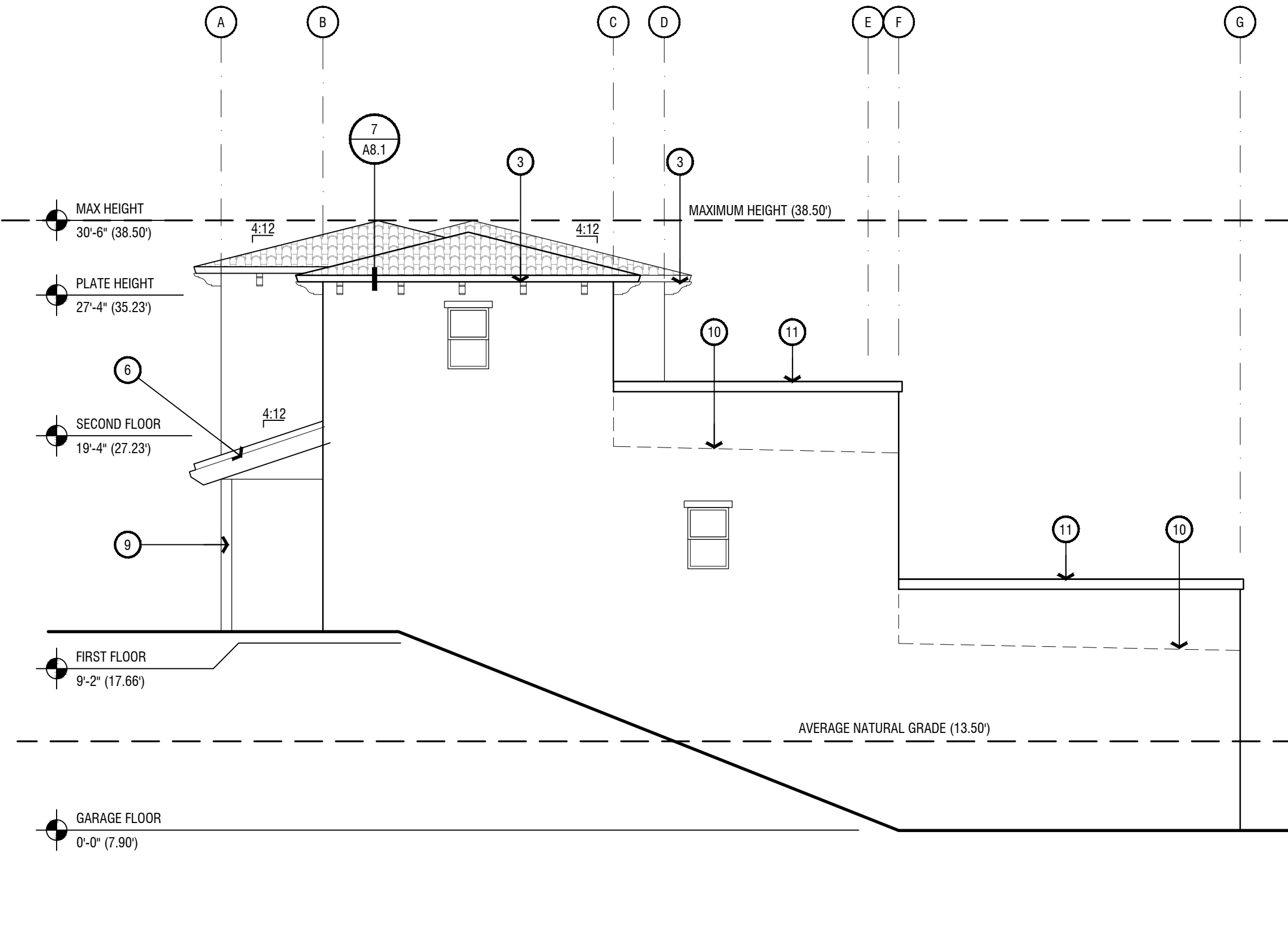
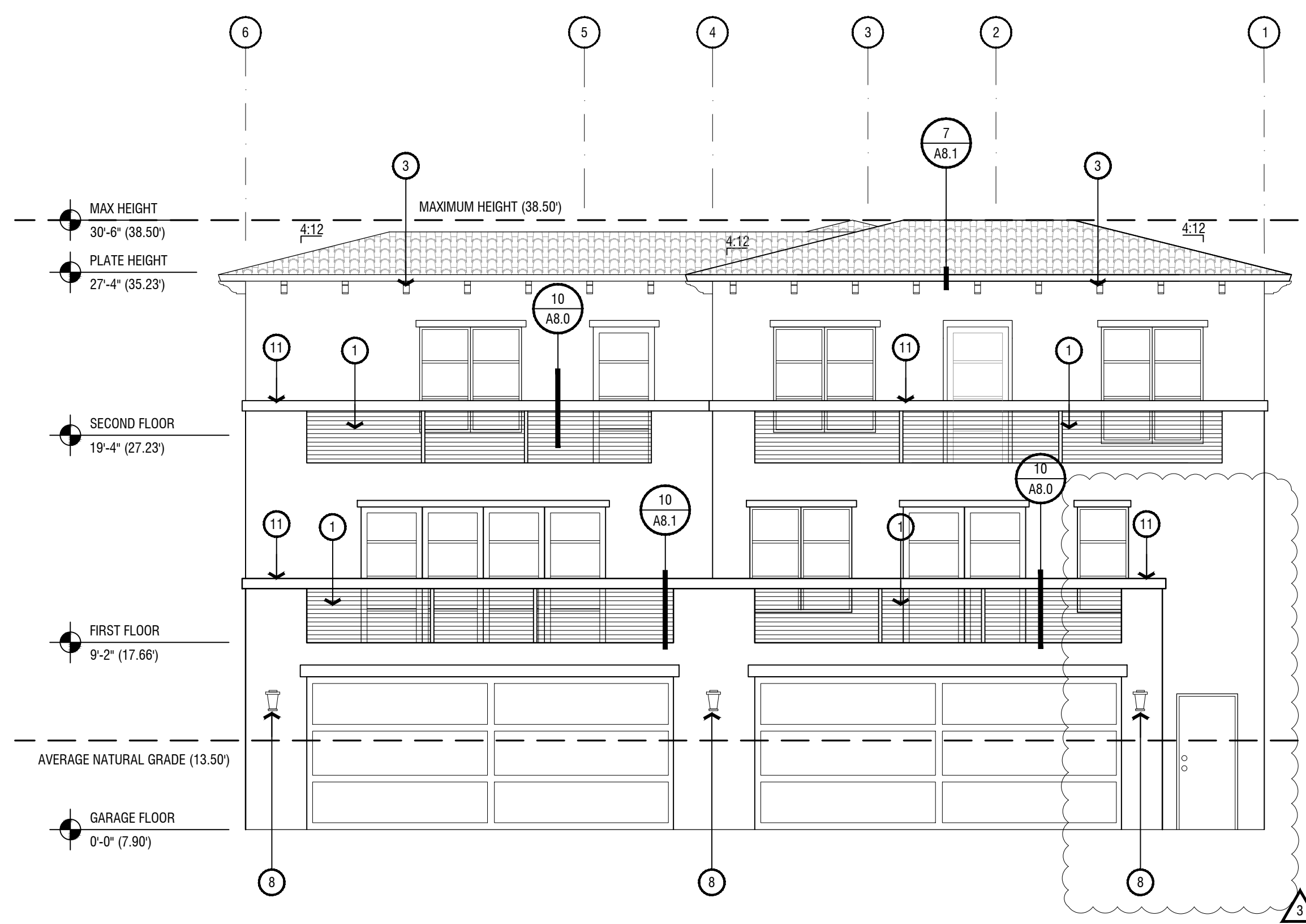
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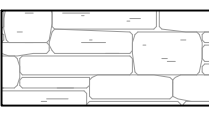
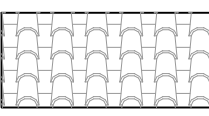

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EXTERIOR ELEVATIONS LEGEND

-  STONE VENEER
-  CLASS 'A' - CLAY 'S' TILE ROOFING - EL MORADO BLEND OR APPROVED EQUAL
-  PAINTED STUCCO - LAHABRA TRABUCO OR APPROVED EQUAL

KEYNOTES

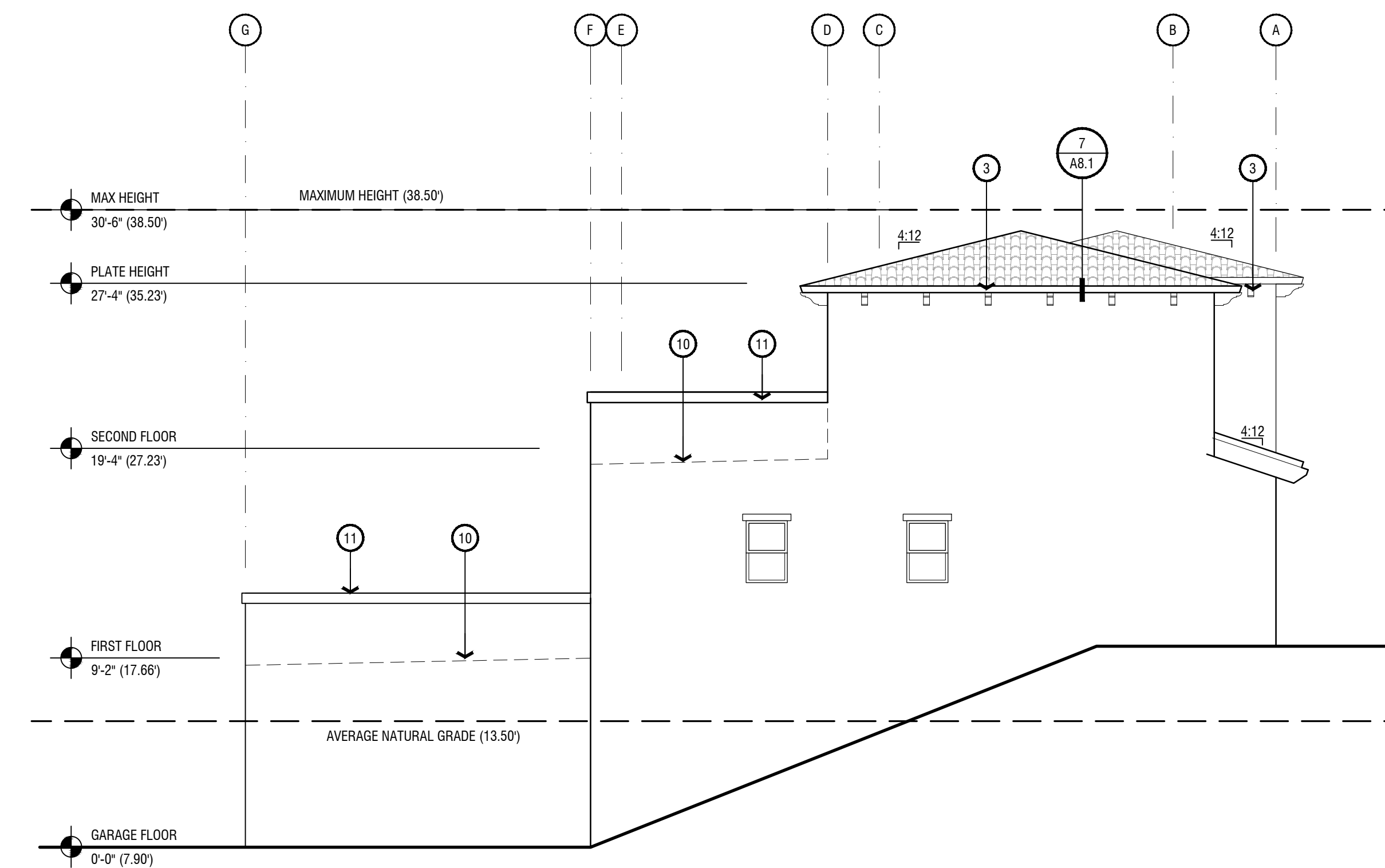
- ① WROUGHT IRON RAILING
- ② STONE ARCHED HEADER
- ③ EXPOSED RAFTER TAILS TYP.
- ④ DOWNSPOUT TYP.
- ⑤ GUTTER ATTACHED TO RAFTER TAILS TYP., SEE EAVE DETAIL 7/A8.1 AMD 8/A8.1
- ⑥ PORCH ROOF
- ⑦ VENT OPENING WITH STACKED TILE
- ⑧ EXTERIOR WALL MOUNTED LIGHT TYP.
- ⑨ EXPOSED WOOD COLUMN TYP.
- ⑩ LINE OF DECK BEYOND
- ⑪ 2X EXPOSED WOOD CAP, REFER TO DETAIL 10/A8.1

1 SOUTH ELEVATION
TUSCAN SMALL

SCALE: 3/16" = 1'-0"

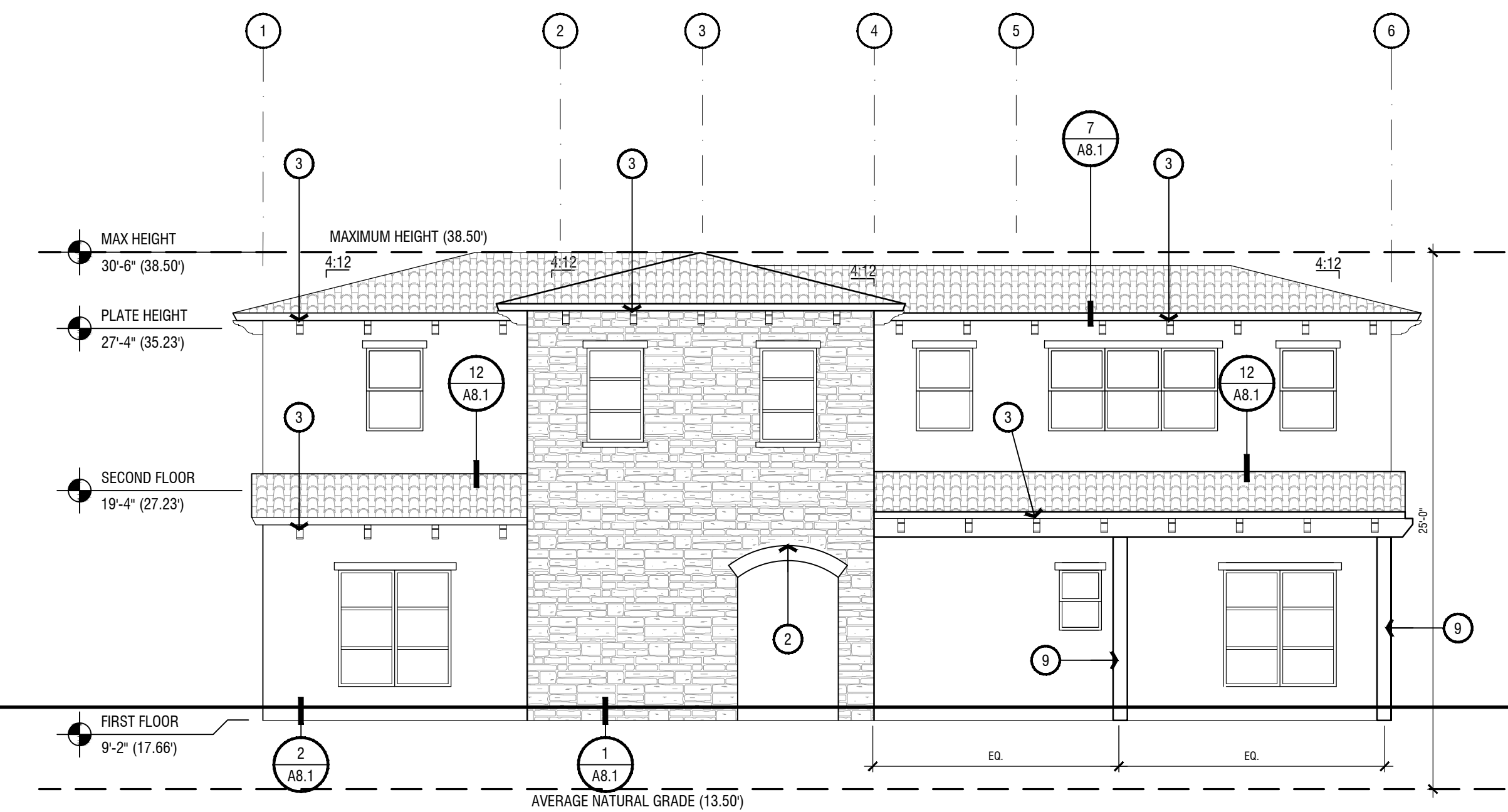
2 EAST ELEVATION
TUSCAN SMALL

SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
TUSCAN SMALL

SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
TUSCAN SMALL

SCALE: 3/16" = 1'-0"

10

**TEN OVER
STUDIO, INC**

539 Marsh Street,
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com
www.tenoverstudio.com



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AVILA COLONY DUPLEXES
2845 AVILA BEACH DRIVE (LOT 13)

DRWN BY: WR	CHKD BY: JS
DATE	SUBMITTAL
07.30.18	PERMIT SET
11.12.18	FOR AVAC REVIEW
11.11.20	RESUBMITTAL I
1.12.21	RESUBMITTAL II
4.28.21	GUEST PARKING ADD

EXTERIOR
ELEVATIONS

A3.0



LOT 13

LOT 12

LOT 10

LOT 9

LOT 8



PROPOSED REAR ELEVATION OF LOTS 12 AND 13
(LOOKING NORTH)



PROPOSED REAR ELEVATION OF LOTS 12 AND 13
(LOOKING NORTH)



PROPOSED REAR ELEVATION OF LOTS 12 AND 13
(LOOKING WEST)

Avila Valley Advisory Council

San Luis Obispo County, California
P.O. Box 65

Avila Beach, CA 93424 www.avac-avila.org

2019 Officers

Chair

Jim Hartig

Vice Chair

Mary Matakovich

Secretary

Lynn Walter

Treasurer

Julia Hartzell

Council Members

Avila Beach

Mary Matakovich

Lisa Newton

Anne Brown

Open(alt)

Avila Valley

Julia Hartzell

MaryEl Hansen

Marti Brand (alt)

San Luis Bay Estates

Sherri Danoff

Jim Hartig

Ken Thompson

Martin Suits

Steve Benedict

Saul Goldberg

Lynn Walter (alt)

Carol Hayden (alt)

See Canyon

Denise Allen

Mike Casola

Liz Gujo-Johnson (alt)

Squire Canyon

Kirt Collins

Margaret Greenough

Open (alt)

January 15, 2019

To: Cody Scheel, Planner, SLO County Planning and Building

Re: DRC2015-00098 (Avila Beach Dreams LLC)

Dear Cody,

At the January 14 AVAC meeting the council approved the comments from the Avila Beach committee regarding the above listed project.

Recommend that Planning “**accept the “streetscape” as presented with an exception to provide varying colors of white as shown on lots 9 and 12. The easement landscaping is especially important to relieve the visual bulk of these 5 buildings.**”

Jim Hartig

Jim Hartig, AVAC Chairperson

Cc: Adam Hill, District 3 County Supervisor, Nicole Nix, Legislative Assistant, Sara Sanders, Planning Department, AVAC



AVILA BEACH COMMUNITY SERVICES DISTRICT

Post Office Box 309, Avila Beach, CA 93424
Office and Meeting Room - 100 San Luis Street, Avila Beach
Telephone (805) 595-2664 FAX (805) 595-7623
E-mail: avilacsd@gmail.com

Preliminary Will Serve Extension Expires June 9th, 2022

April 26, 2020

Avila Beach Dreams, LLC
Cagliero Brothers
P.O. Box 3828
Paso Robles, CA 93447

Subject: Preliminary Intent to Serve; Planned Development Project Lot 12 Colony Estates
APN: 076-196-017

Dear Jon & Phillip Cagliero:

On April 17th, 2020 the District received a request from Phillip Cagliero for a fifth extension to the Preliminary Will Serve (PWS) for the subject project. The initial Preliminary Will Serve was issued on June 9th, 2015 and was scheduled to expire on June 9th, 2016. On May 6th, 2016, the District granted an extension until June 9th, 2017. On April 12th, 2017 the District granted a second extension until June 9th, 2018. On April 17th, 2018 the District granted a third extension until June 9th, 2019. On April 26th, 2019 the District granted a fourth extension until June 9th, 2020. On April 26th, 2020 the District granted a fifth extension until June 9th, 2022. All other conditions of the June 9th, 2015 Preliminary Will Serve remain in full force and effect.


The District understands that the proposed project for Lot #12 includes a new duplex, both with 2 bedrooms. In accordance with Resolution No. 2013-08 the District estimates the Water Capacity Fee for your proposed project will be \$11,522. The Sewer Capacity Fee will be \$20,370, for total Water and Sewer Capacity Fees of \$31,892.

Improvement plans for all connections to the District's water and sewer system will need to be reviewed and approved by the District prior to the start of construction. All construction shall be completed in accordance with the approved plans, District ordinances and standards (including sewer lateral backwater valves) and will be inspected by District and County staff. Our staff will need to be contacted prior to starting work for coordination of inspections.

A Final Will Serve Letter will be issued administratively for your project upon completion of the following: the District's review and approval of the final plans; payment of Capacity Fees; and after the applicant has completed the County Planning and Building Department process for issuance of a building permit. In accordance with District Resolution Nos. 2003-06 and 2003-07, the applicant may pay to the District, one half of the Capacity Fee concurrent with building permit issuance and the remaining half at final approval/occupancy (when the District set's the water meter).

If you should have any questions, please feel free to contact the District office at 805-595-2664 or via email at avilacsd@gmail.com.

Sincerely,


Brad Hagemann, PE
General Manager



AVILA BEACH COMMUNITY SERVICES DISTRICT

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E-mail: avilacsd@gmail.com

Preliminary Will Serve Extension Expires June 9th, 2022

April 26, 2019

Cagliero Brothers
P.O. Box 3828
Paso Robles, CA 93447

Subject: Preliminary Intent to Serve; Planned Development Project Lot 13 Colony Estates
APN: 076-196-018

Dear Jon & Phillip Cagliero:

On April 17th, 2020, the District received a request from Phillip Cagliero for a fifth extension to the Preliminary Will Serve (PWS) for the subject project. The initial Preliminary Will Serve was issued on June 9th, 2015 and was scheduled to expire on June 9th, 2016. On May 6th, 2016, the District granted an extension until June 9th, 2017. On April 12th, 2017, the District granted a second extension until June 9th, 2018. On April 17th, 2018, the District granted a third extension until June 9th, 2019. On April 26th, 2019 the District granted a fourth extension until June 9th, 2020. On April 26th, 2020, the District hereby extends the subject Preliminary Will Serve until June 9th, 2022. All other conditions of the June 9th, 2015 Preliminary Will Serve remain in full force and effect.

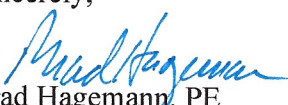
It is the District's understanding that the proposed project for Lot #13 includes a new duplex, both with 2 bedrooms. In accordance with Resolution No. 2013-08 the District estimates the Water Capacity Fee for your proposed project will be \$11,522. The Sewer Capacity Fee will be \$20,370, for total Water and Sewer Capacity Fees of \$31,892.

Improvement plans for all connections to the District's water and sewer system will need to be reviewed and approved by the District prior to the start of construction. All construction shall be completed in accordance with the approved plans, District ordinances and standards (including sewer lateral backwater valves) and will be inspected by District and County staff. Our staff will need to be contacted prior to starting work for coordination of inspections.

A Final Will Serve Letter will be issued administratively for your project upon completion of the following: the District's review and approval of the final plans; payment of Capacity Fees; and after the applicant has completed the County Planning and Building Department process for issuance of a building permit. In accordance with District Resolution Nos. 2003-06 and 2003-07, the applicant may pay to the District, one half of the Capacity Fee concurrent with building permit issuance and the remaining half at final approval/occupancy (when the District set's the water meter).

If you should have any questions, please feel free to contact the District office at 595-2664 or via email at avilacsd@gmail.com.

Sincerely,


Brad Hagemann, PE
General Manager



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1000
04/01/2020

Land Use – Checklist & Application Package

REQUIRED MATERIALS AND INFORMATION

The following information is required to be submitted with your application. If additional information is necessary for application review, Department staff will notify applicants and/or authorized agents. We are now accepting initial application materials in digital format but may request hard copies of documents and plans as necessary review and processing. Digital files should be in PDF format, and in a higher resolution to support digital review of all plan and map details.

FORMS

For applications via the Online Permit Portal: please upload this complete and digitally signed application package PLN-1000 (as detailed below).

Please provide one (1) completed copy of the following form:

- PLN-1000: Land Use Application Checklist & Package.** This form conveniently combines all the following forms into one, and begins with a Checklist of Materials and Information Requirements for Applications
 - GEN-3000: General Application Contact Information
 - PLN-1004: Land Use – Project Information Form
 - PLN-1003: Environmental Description Form
 - PLN-1006: Information Disclosure form
 - PLN-1012: Land Use Consent of Property Owner form (only if applicant does not own the property)
 - PLN-1122: Hazardous Waste and Substances Statement Disclosure (PLN-1122)
- Accessory Application form(s), if applicable.** These forms are not included in this package. Examples include, but are not limited to:
 - Curb, Gutter, and Sidewalk Waiver
 - Tree Removal form
 - Variance Application form

FEES

- Application fee (refer to current [fee schedule](#))

SITE LAYOUT PLAN(S)

For applications via the Online Permit Portal: please upload during initial application submittal. The Department may request up to 4 copies of full-sized hard copy plans for inter-agency review as necessary.

Plans should consist of an accurate drawing of the property, and the site plan must show the following items (where they apply to your site):

- Exterior boundaries and dimensions of the entire site
- North arrow and scale

Land Use – Checklist & Application Package

- Slope contour map (except when a grading plan is required), showing the following:
 - *Inside urban reserve lines* – show contours at 5-foot intervals for undeveloped areas and 2-foot intervals for building sites and paved or graded areas
 - *Outside urban reserve lines* – show contours at 10-foot intervals for undeveloped areas and 2-foot intervals for building sites
 - *Steep slopes* – areas in excess of 30% slope may be designated as such and contours omitted, unless proposed for grading, construction or other alterations
- General location of major topographic and man-made features, such as rock outcrops, bluffs, streams, swales and graded areas
- Location, dimensions, and use of all existing and proposed structures on the property, including buildings, decks, balconies, fences, walls, and other structural elements that extend into yard areas
- Location, name, width, and pavement type of adjacent and on-site streets/alleys
- Existing/proposed curbs, gutters, and sidewalks. Include all points of access, both existing and proposed
- Types and location of existing/proposed water supply and sewage disposal facilities
- Location and dimensions of all existing/proposed easements, driveways and parking areas (enclosed or open), including pavement type
- Location, diameter (at 4 feet above grade), species, approximate canopy cover (dripline) of all trees on the site, noting which will remain and which are proposed for removal, and include proposals for replacement of trees to be removed
- All areas proposed for grading and landscaping
- Any areas proposed to be reserved and maintained as open space
- Location, use and approximate dimensions of all structures within 100 feet of the site's boundaries
- A vicinity map showing precisely how to drive to the site. (include street names and distances to help with describing how to get to the site)
- Coastal Access - If the project is within the coastal zone and located between the ocean and the nearest public road, applications shall include the locations of the nearest public access points to the beach
- Preliminary Floor Plans and Architectural Elevations – showing height of buildings and structures, color, texture and material of exterior finishes and roofing (not required for most agricultural buildings)
- Elevations – (relative height) from the finish floor of the garage or other parking area to the edge of the pavement or road at the driveway entrance
- Legal Lot Verification – how the parcel(s) was/were legally created

Land Use – Checklist & Application Package

SUPPLEMENTAL INFORMATION

The following information may be required, depending on your Land Use application type.

If you had a pre-application meeting and any of these items were indicated, they are required for a complete submittal. For applications via the Online Permit Portal, these can be uploaded with your initial application submittal, or later when your full Plan Case has been created.

- Preliminary Landscaping Plan prepared pursuant to Section 22.16/23.04.180, et seq.
- Fire Safety Plan prepared pursuant to Section 22.52/23.05.080, et seq.
- Preliminary grading/drainage plan – when required by Section 22.52/23.05.020 and .040
- Agricultural buffers – if any adjacent parcels are used for agriculture, show all proposed agricultural buffers
- Archeological Report – two (2) copies, where required
- Biological Report – two (2) copies, where required
- Botanical Report – two (2) copies, where required
- Building Site Envelopes – on site layout plan show all areas proposed for development, or areas proposed to be excluded from development
- Noise Study – two (2) copies, if the property either adjoins or will be a noise generator or a potential source of noise
- Traffic Study – two (2) copies, where required
- Geological Report – two (2) copies, where required
- Visual Analysis – for applications that propose development along significant visual corridors (such as Highways 101 and 1)
- Location, size, design and text of all existing and proposed signs
- Location and design of solid waste disposal facilities, as required by Section 22.10.150/23.04.280
- Cross-section drawings. The drawings shall include two sectional views of the project, approximately through the middle and at right angles to each other. The existing and proposed grades and the location of and distances between buildings, parking and landscaping shall also be provided
- Supplemental Development Statement stating the project’s phasing schedule (if one is proposed), and any information that is pertinent or helpful to the understanding of the proposal, such as photos, statistical data, petitions, etc.
- Water will-serve letter OR Well pump test (4-72 hour)
- Sewer will-serve letter OR Percolation tests
- County Public Works road requirements
- Road Plan and Profile / Culvert Plan and Profile / Streetscape Plan
- Completed Cost Accounting Agreement – one (1) copy
- Abandoned oil and gas wells, if applicable – Information is available from the California Division of Oil & Gas: 195 South Broadway, Suite 101, Orcutt, California 93455, (805) 937-7246
- Other _____



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1004
04/01/2020

Land Use -- Project Information Form

APPLICATION TYPE - CHECK ALL THAT APPLY

- | | |
|--|--|
| <input type="checkbox"/> Emergency Permit | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Tree Removal Permit | <input type="checkbox"/> Surface Mining/Reclamation Plan |
| <input type="checkbox"/> Minor Use Permit | <input type="checkbox"/> Zoning Clearance |
| <input type="checkbox"/> Conditional Use Permit/Development Plan | <input type="checkbox"/> Amendment to approved Land Use Permit |
| <input type="checkbox"/> Plot Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver | <input type="checkbox"/> Other _____ |

TYPE OF PROJECT:

Commercial Industrial
 Residential Recreational Other: _____

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable):

Describe existing and future access to the proposed project site:

SURROUNDING PARCEL OWNERSHIP Do you own adjacent property? YES NO
If YES, what is the acreage of all property you own that surrounds the project site?

SURROUNDING LAND USE What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: _____ South: Residential Multi-Family (Vacant/Residences)

East: _____ West: Residential Multi-Family (Vacant/Residences)

FOR ALL PROJECTS, ANSWER THE FOLLOWING - Square footage and percentage of the total site (approximately) that will be used:

Buildings: _____ sq. feet _____% Per Lot Landscaping: _____ sq. feet _____%
 Paving: _____ sq. feet _____% Other: _____ sq. feet _____%

Deck + Garage +Storage

Total area of all paving structures: _____ sq. feet _____acres

Total area of grading or removal of ground cover: _____ sq. feet Per lot

Land Use – Project Information Form

Trees:

Number of trees to be removed: _____

Type(s) of tree(s):

Setbacks:

Front _____ Back _____ Left _____ Right _____

PROPOSED WATER SOURCE:

___ On-Site Well ___ Shared Well ___ Other: _____

Community System (agency / company responsible for the provision of water):

WILL-SERVE LETTER?

- Yes (If yes, please submit copy)
- No
- N/A

PROPOSED SEWAGE DISPOSAL

- Individual On-Site System
- Other: _____
- Community System (list the agency or company responsible provision):

WILL-SERVE LETTER?

- Yes (If yes, please submit copy)
- No
- N/A

RESPONSIBLE FIRE PROTECTION AGENCY:

FOR COMMERCIAL/INDUSTRIAL PROJECTS ANSWER THE FOLLOWING:

Total outdoor use area: _____ sq. feet ___ acres

Total floor area of all structures including upper stories: _____ sq. feet

FOR RESIDENTIAL PROJECTS, ANSWER THE FOLLOWING:

Number of residential units: _____ Lot Number of bedrooms per unit: _____ 2-3

Total floor area of all structures including upper stories, but not garages and carports: _____ sq. feet

Total of area of the lot(s) minus building footprint and parking spaces: _____ sq. feet



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

GEN-3000
04/01/2020

General Application Contact Information

Staff: Input File Number or File Label Here Please check ONLY ONE of the contacts as the 'Primary Billing Contact' to appear on invoices and receipts	PROPERTY OWNER		<input type="checkbox"/> Primary Billing Contact					
	Name:							
	Company:							
	Telephone:		Email Address:					
	Mailing address:							
City:		State: CA	Zip Code: 93446					
APPLICANT		<input type="checkbox"/> Primary Billing Contact		AUTHORIZED AGENT		<input type="checkbox"/> Primary Billing Contact		
Name:				Name:				
Company:				Company:				
Telephone:		Email address:		Telephone:		Email address:		
Mailing address:				Mailing Address:				
City:		State:	Zip Code:		City:		State:	Zip Code:
PROPERTY INFORMATION								
Assessor's Parcel Number:		Physical address:			Total size, in acres:			
Directions to the property (include landmarks and any gate codes):								
Describe current uses on the property (include structures, improvements, and vegetation):								
PROJECT INFORMATION								
Briefly describe the proposed project (include all uses and building heights and areas, in square-feet) and attach supplemental info as necessary:								

Legal Declaration

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

SIGNATURE: Avila Beach Dreams, LLC, Managing Member

DATE: 08.23.2021

NOTE: Your application is public record and information regarding your application is available both in person and online via the Department of Planning & Building. All references to names, addresses, telephone numbers, email addresses and project details are part of this public record. All applications must be filed under the subject property's owner of record; however, you may use an alternate contact address and telephone number.



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Environmental Description

PLN-1003
01/01/2020

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

1. Answer ALL the questions as accurately and completely as possible.
2. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
3. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
4. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

PHYSICAL SITE CHARACTERISTICS			
Acres with 0-10% slopes:	Acres with 10-20% slopes:	Acres with 20-30% slopes:	Acres over 30% slopes:
Are there any springs, streams, lakes, or marshes on or near the site? ___Yes ___No If yes, please describe: _____ _____		Are there any flooding problems on the site or in the surrounding area? ___Yes ___No If yes, please describe: _____ _____	
Has a drainage plan been prepared? ___Yes ___No If yes, please attach a copy.		Has there been any grading or earthwork on the site? ___Yes ___No If yes, please describe: _____ _____	
Has a grading plan been prepared? ___Yes ___No If yes, please attach a copy.		Are there any sewer ponds/waste disposal sites on or adjacent to the site? ___Yes ___No If yes, please describe: _____ _____	
Are there any railroads or highways within 300 feet of the site? ___Yes ___No If yes, please describe: _____		Can the site be seen from surrounding public roads? ___Yes ___No If yes, please describe: _____	

Environmental Description

WATER SUPPLY INFORMATION	
What type of water supply is proposed? <input type="checkbox"/> Individual Well <input type="checkbox"/> Shared Well <input type="checkbox"/> Community Water System	What is the proposed use of the water? <input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential If non-residential, please describe: _____ _____
What is the expected daily water demand associated with the project? _____	How many service connections will be required? _____
Do operable water facilities exist on the site? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: _____ _____	Has there been a sustained yield test on proposed or existing wells? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A If yes, please attach a copy.
Does Water Meet the Health Agency's Quality Requirements? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A	Bacteriological? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A
Chemical? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A	Physical? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A
Water analysis report submitted. <input type="checkbox"/> Yes <input type="checkbox"/> No N/A	
Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health:	
<input type="checkbox"/> Well Driller's Letter <input type="checkbox"/> Water Quality Analysis OK Problems <input type="checkbox"/> Will-Serve Letter <input type="checkbox"/> Other: _____	<input type="checkbox"/> Pump Test Hours: _____ GPM: _____ <input type="checkbox"/> Surrounding Well Logs <input type="checkbox"/> Hydrologic Study
SEWAGE DISPOSAL INFORMATION (ON-SITE INDIVIDUAL DISPOSAL SYSTEM)	
Has an engineered percolation test been completed? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A If yes, please attach a copy.	Has a piezometer test been completed? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A If yes, please attach a copy.
Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A	Will a Waste Discharge Permit from the Regional Water Quality Control Board be required a waste discharge (typically needed in excess of 2,500 gallons per day)? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A
What is the distance from proposed leach field to any neighboring water wells? _____ feet N/A	

Environmental Description

SEWAGE DISPOSAL INFORMATION (COMMUNITY DISPOSAL SYSTEM)	
Is this project to be connected to an existing sewer line? <input type="checkbox"/> Yes <input type="checkbox"/> No Distance to nearest sewer line: _____ Location of connection: _____	
What is the amount of proposed flow? _____ (gallons per day) Average for Multi-Family dwelling.	Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? <input type="checkbox"/> Yes <input type="checkbox"/> No
SOLID WASTE INFORMATION	
What is the name of solid waste disposal company? _____	Where is the waste disposal storage in relation to buildings? _____
What type of solid waste will be generated by the project? <input type="checkbox"/> Domestic <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural <input type="checkbox"/> Other If other, please describe: _____	Does your project design include an area for collecting recyclable materials and/or composting materials? <input type="checkbox"/> Yes <input type="checkbox"/> No
COMMUNITY SERVICE INFORMATION	
Name of school district: _____	
Are services (grocery/other shopping) within ½ mile of the project? <input type="checkbox"/> Yes <input type="checkbox"/> No	Location of nearest... Police station: _____ Fire station: _____ Public transit stop: _____
HISTORIC AND ARCHEOLOGICAL INFORMATION	
Describe the historic use of the site: 	
Are you aware of the presence of any historic, cultural, or archaeological materials on the project site or in the vicinity? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: _____	Has an archaeological surface survey been done for the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please attach two copies.
AGRICULTURAL INFORMATION	
If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? 	
Is the site currently in Agricultural Preserve (Williamson Act)? <input type="checkbox"/> Yes <input type="checkbox"/> No	Is the site currently under land conservation contract? <input type="checkbox"/> Yes <input type="checkbox"/> No

Environmental Description

SPECIAL PROJECT INFORMATION

Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan):

Will the development occur in phases?
 Yes No
 If yes, please describe: _____

Are there any proposed or existing deed restrictions?
 Yes No
 If yes, please describe: _____

Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?
 Yes No
 If yes, please describe: _____

ENERGY CONSERVATION INFORMATION

Describe any special energy conservation measures or building materials that will be incorporated into your project:

ENVIRONMENTAL INFORMATION

List any mitigation measures that you propose to lessen the impacts associated with your project:

Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?
 Yes No
 If yes, please describe: _____

Are you aware of any previous environmental determinations for all or portions of this property?
 Yes No
 If yes, please describe and provide permit or subdivision numbers(s): _____

OTHER RELATED PERMITS

List all permits, licenses or government approvals that will be required for your project (federal, state, and local):



COUNTY OF SAN LUIS OBISPO
 DEPARTMENT OF PLANNING & BUILDING
 Information Disclosure Form

PLN-1006
 01/24/2020

Time Limits for Processing and Public Notice Distribution Requirements

California state law (California Government Code Section 65941.5) requires that the County provide the following information to applicants, when a permit application is filed:

- Not later than 30 days after a land use or land division application is received, the county must notify the project applicant or designated representative in writing either that the application is complete, or that items are necessary to complete the application. If you are not notified in writing, the application is considered complete. Any land use or land division application receiving a Negative Declaration must be approved or denied within 60 days of its adoption. If the project is exempt under CEQA, the project must be approved or denied within 90 days of acceptance. For land use/land division applications subject to an Environmental Impact Report (EIR), project approval/denial shall be within six months of the certification of the EIR. The County of San Luis Obispo processes the land use application and the environmental review concurrently, so these decisions are made simultaneously. (Government Code Sections 65943 and 65950, et seq.)
- A project applicant may make a written request to the county to receive notice of any proposal to adopt or amend the general plan and the land use, real property division, building and construction, road name and addressing, and growth management ordinances which might reasonably be expected to affect that applicant's project. The county offers a subscription service for notification of either: (1) all applications received by the county, or (2) Planning Commission agendas. The cost for each of these services is established by the county fee ordinance. (Government Code Sections 65945, 65945.3 and 65945.5)
- When a property was created through recordation of a final or parcel map, and it is within five years of recordation, the county cannot withhold or condition the issuance of building permits for residential units based on conformance with conditions that could have been imposed as conditions of the tentative map, except where: (1) A failure to do so would place subdivision residents or residents in the immediate area in a condition perilous to health, safety or both; or (2) The condition is required in order to comply with state or federal law. (Government Code Section 65961)
- Copies of Government Code Sections are available at the County of San Luis Obispo Law Library, County Government Center, San Luis Obispo, California.

Right to Farm Disclosure

The County of San Luis Obispo recognizes the statewide policy to protect and encourage Agriculture. Sections 3482.5 and 3482.6 of the California Civil Code and Chapter 5.16. of the San Luis Obispo County Code protect certain, pre-existing agricultural production and processing operations ("agricultural operation") from nuisance claims. If your property is near a protected agricultural operation, you may be subject to certain inconveniences and/or discomforts which are protected by law. In order for the agricultural operation to be protected, the following requirements of Civil Code Sections 3482.5 and 3482.6 must be satisfied:

Information Disclosure Form

1. The agricultural operation must be conducted or maintained for commercial purposes;
2. The agricultural operation must be conducted or maintained in a manner consistent with proper and accepted customs and standards as established and followed by similar agricultural operations in the same locality;
3. The agricultural operation predated the affected use(s) on your property; (4) The agricultural operation has been in existence for more than three years; and (5) The agricultural operation was not a nuisance at the time it began.

If your property is near an agricultural operation in the unincorporated area of the County which satisfies the above requirements, you may at times be subject to one or more inconveniences and/or discomfort arising from that operation. Such inconveniences may include (depending upon the type of agricultural operation protected), but are not necessarily limited to, the following: noise, odors, fumes, dust, legal pesticide use, fertilizers, smoke, insects, farm personnel and truck traffic, visual impacts, night time lighting, operation of machinery and the storage, warehousing and processing of agricultural products or other inconveniences or discomforts associated with the protected agricultural operations. For additional information pertaining to this disclosure and the Right to Farm Ordinance, or concerns with an agricultural operation, please contact the San Luis Obispo County Agricultural Commissioner's Office.

Landfill Disclosure

Please answer the following question: "This project is within ½ mile of one of the landfills in the North County planning area (Paso Robles Municipal or Chicago Grade Landfills)" Yes No

Acknowledgement

I acknowledge that I have read and understand the sections detailed above:

1. Time Limits for Processing and Public Notice Distribution Requirements
2. Right to Farm Disclosure
3. Landfill Disclosure


Samantha Cagwin
Managing Member

08.23.2021

Applicant Signature

Date

Additional Applicant Signature (if applicable)

Date



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING

PLN-1012
04/01/2020

Land Use Consent of Property Owner

Property Address:	APN(s):
Project Description:	

CONSENT

I (we) the undersigned owner(s*) of record of the fee interest in the parcel of land located at the above address, identified as the above Assessor Parcel Number, for which a construction permit, land use permit, land division, general plan or ordinance amendment, or LAFCO application referral is being filed with the County requesting an approval for the above project description, do hereby certify that:

- Such application may be filed and processed with my (our) full consent, and that I (we) have authorized the agent named below to act as my (our) agent in all contacts with the county and to sign for all necessary permit applications in connection with this matter.
- I (we) hereby grant consent to the County of San Luis Obispo, its officers, agents, employees, independent contractors, consultants, sub-consultants and their officers, agents, and employees to enter the property identified above to conduct any and all surveys and inspections that are considered appropriate by the inspecting person or entity to process this application. This consent also extends to governmental entities other than the county, their officers, agencies, employees, independent contractors, consultants, sub-consultants, and their officers agents or employees if the other governmental entities are providing review, inspections and surveys to assist the county in processing this application. This consent will expire upon completion of the project.
- If prior notice is required for an entry to survey or inspect the property, please contact:
- I (we) hereby give notice of the following concealed or unconcealed dangerous conditions on the property (dogs, hazardous materials, or specify none)

CONSENT GRANTOR / PROPERTY OWNER		AUTHORIZED AGENT FOR CONSENT GRANTOR	
Name:	Phone:	Name:	Phone:
		Company / Agency:	Email:
Full Mailing Address:		Full Mailing Address:	
Signature: <i>Samantha Cogan</i>	Date: 08.23.2021	Signature: <i>Jan McCarville</i>	Date:

*attach additional PLN-1012 forms for multiple owners, if applicable



COUNTY OF SAN LUIS OBISPO
 DEPARTMENT OF PLANNING & BUILDING
 Hazardous Waste and Substances Statement Disclosure

PLN-1122
 04/01/2020

PROJECT TITLE: _____ PROJECT APN(s): _____

Per Government Code section 65962.5, known as the 'Cortese List' (AB3750), I have consulted the following website resources and lists to determine if the subject property contains hazardous wastes or substances:

- List of Hazardous Waste and Substances sites from Department of Toxic Substances Control (DTSC) EnviroStor database (<http://www.envirostor.dtsc.ca.gov/public/>)
- List of Leaking Underground Storage Tank Sites by County and Fiscal Year from Water Board GeoTracker database (<http://geotracker.waterboards.ca.gov/>)
- List of solid waste disposal sites identified by Water Board with waste constituents above hazardous waste levels outside the waste management unit (PDF). (<http://www.calepa.ca.gov/SiteCleanup/CorteseList/CurrentList.pdf>)
- List of "active" CDO and CAO from Water Board PLEASE NOTE: This list contains many Cease and Desist Orders and Cleanup and Abatement Orders that do NOT concern the discharge of wastes that are hazardous materials. (<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>)
- List of hazardous waste facilities subject to corrective action pursuant to Section 25187.5 of the Health and Safety Code, identified by DTSC (<https://calepa.ca.gov/sitecleanup/corteseList/section-65962-5a>)

After consultation with each of the lists provided on the above websites, I verify that the subject parcel(s) and proposed development (and any alternative development sites, if applicable):

- Is not** included on any of lists found on the above-referenced websites.
- Is** included on one or more of the lists found on the above-referenced websites. Pursuant to Section 65962.5 of the Government Code. the following information is provided related to this site/application:

Name of Applicant: _____

Address of site (street name & number if available, City, State and ZIP Code): _____

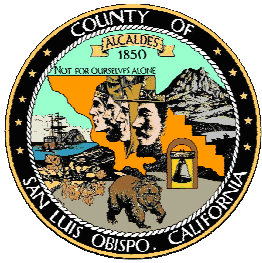
Local agency (city/county): _____

Assessor's book, page, and parcel number: _____

Specify any list pursuant to Section 65962.5 of the Government Code: _____

Regulatory identification number: _____ Date of list: _____

Applicant Signature: <i>Samantha Caguz</i>	Applicant Name (Print):
Date of Signature: 08.23.2021	Phone:
Email:	



SAN LUIS OBISPO COUNTY

DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land – Helping to build great communities

July 31, 2017

Ten Over Studio
Attn: Joel Snyder
539 Marsh Street
San Luis Obispo, CA 93401

Jonathan Cagliero
8625 N. River Road
Paso Robles, CA 93446

NOTICE OF FINAL COUNTY ACTION

HEARING DATE: July 21, 2017

SUBJECT: JONATHAN CAGLIERO & AVILA BEACH DREAMS, LLC.
County File Number: DRC2015-00098
Minor Use Permit / Coastal Development Permit
DOCUMENT NUMBER: 2017-045_PDH

LOCATED WITHIN COASTAL ZONE: YES

The above-referenced application was approved by the Hearing Officer, based on the approved Findings and Conditions, which are attached for your records. This Notice of Final Action is being mailed to you pursuant to Section 23.02.033(d) of the Land Use Ordinance.

This action is appealable to the Board of Supervisors within 14 days of this action. If there are Coastal grounds for the appeal there will be no fee. If an appeal is filed with non-coastal issues there is a fee of \$850.00. This action is appealable to the California Coastal Commission pursuant to regulations contained in Coastal Act Section 30603 and the County Coastal Zone Land Use Ordinance 23.01.043. These regulations contain specific time limits to appeal, criteria, and procedures that must be followed to appeal this action. The regulations provide the California Coastal Commission 10 working days following the expiration of the County appeal period to appeal the decision. This means that no construction permits can be issued until both the County appeal period and the additional Coastal Commission appeal period have expired without an appeal being filed.

Exhaustion of appeals at the county level is required prior to appealing the matter to the California Coastal Commission. This second appeal must be made directly to the California Coastal Commission Office. Contact the Commission's Santa Cruz Office at (831) 427-4863 for further information on their appeal procedures.

If the use authorized by this Permit approval has not been established or if substantial work on the property towards the establishment of the use is not in progress after a period of twenty-four (24) months from the date of this approval or such other time period as may be designated through conditions of approval of this Permit, this approval shall expire and become void unless an extension of time has been granted pursuant to the provisions of Section 23.02.050 of the Land Use Ordinance.

If the use authorized by this Permit approval, once established, is or has been unused, abandoned, discontinued, or has ceased for a period of six (6) months or conditions have not been complied with, such Permit approval shall become void.

If you have questions regarding your project, please contact, **Project Manager, Cody Scheel** at (805) 781-5157. If you have any questions regarding these procedures, please contact me at (805) 781-5718.

Sincerely,

NICOLE RETANA, SECRETARY
PLANNING DEPARTMENT HEARINGS

EXHIBIT A – FINDINGS
CAGLIERO & AVILA BEACH DREAMS, LLC (DRC2015-00098)

Environmental Determination

- A. The Environmental Coordinator, after completion of the initial study, finds there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Mitigated Negative Declaration (pursuant to Public Resources Code Section 2100 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on June 21, 2017 for this project. Mitigation measures are proposed to address Aesthetics, Air Quality, and Cultural Resources, and are included as conditions of approval.

Minor Use Permit / Coastal Development Permit

- B. The proposed project or use is consistent with the San Luis Obispo County General Plan and Local Coastal Plan because the proposed duplexes and vacation rentals (on lot 9) are allowed uses and as conditioned are consistent with all of the General Plan and Local Coastal Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 23 of the County Code.
- D. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the proposed duplexes do not generate activity that presents a potential threat to the surrounding property and buildings. The operational standards for vacation rentals as set forth in Coastal Zone Land Use Ordinance section 23.08.165 have been added as conditions to this project for the proposed vacation rentals on lot 9. Because these standards further limit parking requirements, number of occupants and require the designation of a 24 hour property manager contact, potential impacts to surrounding property owners will be minimized. The proposed conditions of approval have routinely been added to other minor use permits for establishment of vacation rentals. This project is subject to Ordinance and Building Code requirements designed to address health, safety and welfare concerns.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the five proposed duplexes are an allowed use and, as conditioned, the proposed residential vacation rentals (on lot 9) and proposed duplexes are similar to, and will not conflict with, the surrounding lands and uses.
- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project, because the project is located on Avila Beach Drive (with access off of Colony Lane), a local road constructed to a level able to handle any additional traffic associated with the project.

Archaeological Sensitive Area

- G. The site design and development incorporate adequate measures to ensure that archeological resources will be acceptably and adequately protected because the project is conditioned to mitigate any impacts to archaeological resources.

Modification

- H. Modification of the location standard as set forth in section 23.08.165 – Residential Vacation Rentals may be modified to less than 50 feet for both residential dwelling units (on lot 9) from the nearest existing vacation rental because the project is consistent with all other provisions of the section and because there are specific conditions relative to the site including site location, access and onsite parking that justifies the residential units to be used as vacation rentals. The subject parcel is not within 50 feet of an existing vacation rental, and the nearest vacation rental is located 60 feet to the east of the subject parcel. The modification can be supported because of the existing pattern of previously approved vacation rentals along the Pacific Coast Railroad right of way Colony Lots.

The historic pattern has been to approve vacation rentals on every other lot in order to maintain a minimum 50 foot buffer between other lots with vacation rentals. By keeping this historic trend for vacation rentals located on the Colony Lots, it will preserve the residential character of the neighborhood and will not transform the primarily residential use to a primarily visitor serving commercial neighborhood. The project will provide two off-street garage parking spaces per residential unit, and one guest parking space per unit (for a total of 6 parking spaces), and all parking associated with the residential vacation rentals is conditioned to be entirely on-site, in a garage, driveway or otherwise out of the roadway. The site is accessed from a private access driveway (Colony Lane) and fronts a main arterial road, making it easily accessible for visitors.

The peculiar size and location of the lot between Avila Beach Drive on one side and Colony Lane on the other, across the street from the Avila Beach Golf Course, and surrounded by multifamily and parking lot uses, make the site most suitable for vacation rental uses. Given the visitor serving nature of the surrounding neighborhood, the unique location of the project site, off-street parking availability, private access driveway (Colony Lane), and because the proposed use would not create any significant impacts as conditioned, the project meets all CZLUO standards for Residential Vacation Rentals and the modification of the location standard is justified.

Coastal Access

- I. The proposed use is in conformity with the public access and recreation policies of Chapter 3 of the California Coastal Act, because the project is not adjacent to the coast and the project will not inhibit access to the coastal waters and recreation areas.

**EXHIBIT B - CONDITIONS OF APPROVAL
CAGLIERO & AVILA BEACH DREAMS, LLC (DRC2015-00098)**

Authorized Development & Use

1. This approval authorizes:
 - a. The construction of two 2,800 square foot duplexes on two existing 8,000 square foot parcels (Lots 8 & 9).
 - b. The construction of three 2,100 square foot duplexes on three existing 6,000 square foot parcels (Lots 10, 12 & 13)
 - c. Maximum height allowed is 25 feet as measured from average natural grade.

Table 1 - Project Summary (Sq. Ft.)					
Project Attributes	Lot 8	Lot 9	Lot 10	Lot 12	Lot 13
Parcel Size	8000	8000	6,000	6000	6000
Garage +Storage	1480	1480	1380	1380	1380
Main Floor					
Living Space Unit 1	890	890	750	750	750
Living Space Unit 2	1000	1000	800	800	800
Deck/Balcony	535	535	535	535	535
Upper Floor					
Living Space Unit 1	380	380	250	250	250
Living Space Unit 2	530	530	300	300	300
Decks/Balcony	550	550	550	550	550
Totals:					
Garage + Storage	1480	1480	1380	1380	1380
Living Space	2800	2800	2100	2100	2100
Deck/Balcony	1085	1085	1085	1085	1085
Parking Provided	6 spaces	6 spaces	5 spaces	5 spaces	5 spaces

- d. The use of the proposed duplex on Lot 9 as residential vacation rentals and modification of the vacation rental location criteria in Section 23.08.165(c)(1).

Conditions required to be completed at the time of application for construction permits

Site Development

2. **At the time of application for construction permits**, plans submitted shall show all development consistent with the approved site plan, floor plan and architectural elevations.
3. **At the time of application for construction permits**, The project shall mix / match the roof / colors and materials / architectural features among the buildings to prevent uniformity of identical reverse plans adjacent buildings. Final design, colors, materials and architectural features are subject to the review and approval of the Department of Planning and Building. Review and comment on final architectural plans will be sought from AVAC of its designated committee(s) prior to approval by the Department of Planning and Building.
4. **AS-1 At the time of application for construction permits**, the applicant shall provide details on any proposed exterior lighting, if applicable. The details shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark colored.

Landscaping Plan

5. At the time of application for construction permits, the applicant shall submit for review and approval, a Landscape Plan that provides for the planting of all open areas of the site disturbed by project activities with native, drought and fire resistant species that are compatible with the habitat values of the surrounding forest. In addition, non-native, invasive, and water intensive (e.g. turf grass) landscaping shall be prohibited on the entire site.

Access

6. **At the time of application for construction permits**, and in accordance with 22.54.030/23.05.106 (Curb Gutter and Sidewalk) the applicant shall submit plans to the Department of Public Works to secure an Encroachment Permit to reconstruct, if necessary, all deteriorated or non-compliant **Avila Beach Drive** parent parcel frontage improvements.

Drainage

7. **At the time of application for construction permits**, the applicant shall submit complete drainage plans for review and approval in accordance with Section 23.05.040 (Drainage) of the Land Use Ordinance.
8. **At the time of application for construction permits**, the applicant shall show (per the requirements of the grading plan which underlays the lot), that the finished floor elevation of all garage is at or above 8.8 ft (NAVD '88).
9. **At the time of application for construction permits**, the applicant shall add this note to the plans: ALL FUTURE GARAGE STRUCTURES WILL HAVE A FINISHED FLOOR ELEVATION ABOVE THE 25-YEAR FLOOD ELEVATION (ELEVATION = 8.8 ft NAVD) AND PROPERTY OWNERS ARE REQUIRED TO STORE ANY HAZARDOUS MATERIAL ABOVE THE 100-YEAR STORM FLOOD ELEVATION (ELEVATION = 9.2 ft NAVD '88). SEE DRAINAGE REPORT PREPARED BY CANNON ASSOCIATES JULY 2004.
10. **At the time of application for construction permits**, the applicant shall submit complete erosion and sedimentation control plan for review and approval in accordance with 22.52.120.

Fire Safety

11. **At the time of application for construction permits**, all plans submitted to the Department of Planning and Building shall meet the fire and life safety requirements of the California Fire Code. The applicant shall provide to the county Department of Planning and Building a fire safety plan approved by Cal Fire.

Services

12. **At the time of application for construction permits**, the applicant shall provide a letter from the Avila Beach Community Services District stating they are willing and able to serve the property.

Conditions to be completed prior to issuance of a construction permit

Fees

13. **Prior to issuance of a construction permit**, the applicant shall pay all applicable school and public facilities fees.

Grading, Drainage, Sedimentation and Erosion Control

14. If grading is to occur between October 15 and April 15, a sedimentation and erosion control plan shall be submitted pursuant to Coastal Zone Land Use Ordinance Section 23.05.036.

Conditions to be completed during project construction

Building Height

15. The maximum height of the project is 25 feet from average natural grade.
 - a. **Prior to any site disturbance**, a licensed surveyor or civil engineer shall stake the lot corners, building corners, and establish average natural grade and set a reference point (benchmark).
 - b. **Prior to approval of the foundation inspection**, the benchmark shall be inspected by a licensed surveyor prior to pouring footings or retaining walls, as an added precaution.
 - c. **Prior to approval of the roof nailing inspection**, the applicant shall provide the building inspector with documentation that gives the height reference, the allowable height and the actual height of the structure. This certification shall be prepared by a licensed surveyor or civil engineer.

Air Quality

16. **AQ-1 During construction/ground disturbing activities**, the applicant shall implement the following particulate (dust) control measures. These measures shall be shown on the grading and building plans. In addition, the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD prior to commencement of construction.
 - a. Reduce the amount of disturbed area where possible,

- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Reclaimed (nonpotable) water should be used whenever possible.
- c. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
- d. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top load and top of trailer) in accordance with CVC Section 23114.
- e. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible.
- f. All dirt stock-pile areas should be sprayed daily as needed.

Cultural Resources

17. **AQ-2 During construction activities.** Construction Equipment. The project proponent shall implement the following emissions control measures so as to reduce diesel particulate matter in accordance with SLOAPCD requirements.
- a. Maintain all construction equipment in proper tune according to manufacturer's specifications;
 - b. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-taxed version suitable for use off-road);
 - c. Use diesel construction equipment meeting ARB's Tier 3 certified engines or cleaner off-road heavy-duty diesel engines, and comply with the State Off-Road Regulation;
 - d. Use on-road heavy-duty trucks that meet the ARB's 2007 or cleaner certification standard for on-road heavy-duty diesel engines, and comply with the State On-Road Regulation;
 - e. Construction or trucking companies with fleets that do not have engines in their fleet that meet the engine standards identified in the above two measures (e.g. captive or NOx exempt area fleets) may be eligible by proving alternative compliance;
 - f. All on and off-road diesel equipment shall not idle for more than 5 minutes. Signs shall be posted in the designated queuing areas and or job sites to remind drivers and operators of the 5 minute idling limit;
 - g. Diesel idling within 1,000 feet of sensitive receptors is not permitted;
 - h. Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors;
 - i. Electrify equipment when feasible;
 - j. Substitute gasoline-powered in place of diesel-powered equipment, where feasible; and

- k. Use alternatively fueled construction equipment on-site where feasible, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane or biodiesel.
18. **AQ-3 To help reduce sensitive receptor emissions impacts** of diesel vehicles and equipment used to construct the project, the applicant shall implement the following idling control techniques:

California Diesel Idling Regulations

- a. On-road diesel vehicles shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operations on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
1. Shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location, except as noted in Subsection (d) of the regulation; and
 2. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5.0 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
- b. Off-road diesel equipment shall comply with the 5 minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use Off-road Diesel regulation.
- c. Signs shall be posted in the designated queuing areas and job sites to remind drivers and operators of the 5-minute idling limit.

Cultural Resources

19. **CR-1 During construction/ground disturbing activities**, the applicant shall comply with all requirements of the Cultural Resources Monitoring Plan dated May 2008 and revised December 2008, including retaining a Chumash representative during ground disturbance.
20. **CR-2** Any soil from the embankment that is excavated shall remain on the lot where it originated from or be transported to the approved location as shown on the "Colony Retrieval Site" map dated July 15, 2006. Reburial and relocation of cultural materials at this location shall be conducted under the authority of the local Chumash representative and the project archaeologist who shall also be on site during depositing of materials and/or reburial activities.
21. **CR-4 During construction/ground disturbing activities**, in the event archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the County Coroner shall be notified in addition to the Department of Planning and Building so proper disposition may be accomplished. If human remains are unearthed, State Health and Safety Code Section 7050.5 require that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition and pursuant to Public Resources Code Section 5097.98. If the remains are determined to be of Native American descent, the coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then contact the most likely descendent of the deceased Native American, who will then serve as consultant on how to proceed with the remains (i.e. avoid, rebury).

Conditions to be completed prior to occupancy or final building inspection / establishment of the use

Landscaping

22. Landscaping in accordance with the approved landscaping plan shall be installed or bonded for **before final inspection**. If bonded for, landscaping shall be installed within 60 days after final building inspection. All landscaping shall be maintained in a viable condition in perpetuity.

Fire Safety

23. **Prior to final inspection**, the applicant shall obtain final inspection and approval from CAL FIRE of all required fire/life safety measures.

Cultural Resources

24. **Prior to final inspection** the applicant shall submit the final Phase III monitoring/mitigation report (completed by Applied EarthWorks, Inc.) detailing all field and laboratory work completed, materials recovered, and conclusions reached during all monitoring activities for review and approval. This report shall show how the project complied with all the required mitigation measures outlined in the submitted monitoring report by Applied EarthWorks, Inc. (May 2008).

Development Review

25. **Prior to occupancy of any structure associated with this approval**, the applicant shall contact the Department of Planning and Building to have the site inspected for compliance with the conditions of this approval.

Residential Vacation Rental Operational Conditions

26. Rental of the single family residence shall not exceed four individual tenancies per calendar month. The first day of each tenancy determines the month assigned to that tenancy. No additional occupancy of the residence (with the exception of the property owner and private non-paying guests) shall occur. A residential vacation rental shall only be used for the purposes of occupancy as a vacation rental or as a full time occupied residence. No other use (i.e.: home occupation, temporary event, homestay) shall be allowed on the site.
27. The maximum number of occupants allowed in the residential vacation rental shall not exceed the number of occupants that can be accommodated consistent with the onsite parking requirement, and shall not exceed two persons per bedroom plus two additional persons, or 6 persons total for the proposed 2-bedroom unit, and 8 persons total for the proposed 3-bedroom unit.
28. The residential vacation rentals are not to change the residential character of the outside appearance of the building, either by the use of colors, materials, lighting, or by the construction of accessory structures or garages visible from off-site and not of the same architectural character as the duplex; or by the emission of noise, glare, flashing lights, vibrations or odors not commonly experienced in residential areas.
29. Availability of the rental units to the public shall not be advertised on site, and the rental units shall not advertise on-street parking. Any and all advertising for these vacation rentals shall be consistent with these conditions of approval.
30. Vehicles used and traffic generated by the residential vacation rentals shall not exceed the type of vehicles or traffic volume normally generated by a home occupied by a full time resident in a residential neighborhood. Normal residential traffic volume means up to 10 trips per day.

31. All parking associated with the residential vacation rentals shall be entirely on-site, in a garage, driveway or otherwise out of the roadway. Tenants of the vacation rentals shall not use on-street parking at any time.
32. The residential vacation rentals shall comply with the standards of Section 23.06.040 et seq. (Noise Standards). No residential vacation rental is to involve on-site use of equipment requiring more than standard household electrical current at 110 or 220 volts or that produces noise, dust, odor or vibration detrimental to occupants of adjoining dwellings. The property owners and/or property managers shall insure that the occupants of the residential vacation rental do not create loud or unreasonable noise that disturbs others and is not in keeping with the character of the surrounding neighborhood. Loud and unreasonable noise shall be evaluated through field observations by a County Sheriff, County Code Enforcement or other official personnel, based upon a threshold of noise disturbance related to the residential vacation rental use that is audible from a distance of 50 feet from the property lines of the rental property.
33. The property owner shall designate a local property manager or contact person. The local property manager or contact person shall be available 24 hours a day to respond to tenant and neighborhood questions or concerns. Where a property owner lives within the same community as the residential vacation rental, the property owner may designate themselves as the local contact person. The following requirements shall apply:
 - a. A notice shall be submitted to the Department of Planning and Building, the local Sheriff Substation, the main county Sheriff's Office; the local fire agency and supplied to the property owners within a 200 foot radius of the proposed residential vacation rental site. Distances shall be measured as a radius from the exterior property lines of the property containing the residential vacation rental unit. This notice shall state the property owner's intention to establish a residential vacation rental and shall include the name, address and phone number of the local contact person and the standards for noise, parking and maximum number of occupants. A copy of the notice, a form certifying that the notice has been sent and a list of the property owners notified shall be supplied to the Planning and Building Department at the time of application for the Business License and Transient Occupancy Tax Certificate for the residential vacation rental.
 - b. The name, address and telephone number(s) of the local contact person shall be permanently posted in the rental unit in a prominent location(s). Any change in the local contact person's address or telephone number shall be promptly furnished to the agencies and neighboring property owners. In addition, the standards for parking, maximum occupancy and noise shall be posted inside the residential vacation rental unit and shall be incorporated as an addendum to the vacation rental contracts.
34. The name, address and telephone number(s) of the local contact person shall be submitted to the Avila Valley Advisory Council.
35. The residential vacation rentals shall meet the regulations and standards set forth in Chapter 3.08 of the County Code, including any required payment of transient occupancy tax for the residential vacation rentals. The Transient Occupancy Tax Certificate number shall be included in all advertising for the residential vacation rentals.

36. Penalties for violation of these conditions of approval may include revocation of the Minor Use Permit, Zoning Clearance and/or Business License. Violations that will cause the processing of revocation include:
- a. Failure to notify County staff when the contact person, or contact information, changes.
 - b. Violation of the residential vacation rental tenancy standards.
 - c. Violation of the residential vacation rental maximum occupancy, parking and noise requirements.
 - d. The inability of County staff or the Sheriff's Dispatch to reach a contact person.
 - e. Failure of the local contact person, or property owner, to respond to a complaint.

Three verified violations, as determined by a County Planning and Building staff person, within any consecutive six month period, shall be grounds for revocation of the Minor Use Permit, Zoning Clearance and/or Business License. Signed affidavits by members of the community may be used to verify violations. Revocation of the Minor Use Permit, Zoning Clearance and/or Business License shall follow the same procedure used for land use permit revocation as set forth in Section 23.10.160 of the Coastal Zone Land Use Ordinance. The Director of Planning and Building will hold the initial revocation hearing.

On-going conditions of approval (valid for the life of the project)

Fees

37. **On-going condition of approval (valid for the life of the project)**, and in accordance with Title 13.01 of the County Code, the applicant shall be responsible for paying to the Department of Public Works the Avila Beach Road Impact Fee. The fee shall be imposed at the time of application for building permits and shall be assessed for each building permit to be issued. These fees are subject to change by resolution of the Board of Supervisors. The applicant shall be responsible for paying the fee in effect at the time of application for building permits.

Drainage

38. **On-going condition of approval (valid for the life of the project)**, the project shall comply with the requirements of the National Pollutant Discharge Elimination System Phase I and / or Phase II storm water program and the County's Storm Water Pollution Control and Discharge Ordinance, Title 8, Section 8.68 et sec.

Time Frames

39. The land use permit is valid for a period of 24 months from its effective date unless time extensions are granted pursuant to Land Use Ordinance Section 23.02.050 or the land use permit is considered valid and in force. Time extensions must be requested in writing prior to the expiration date of the land use permit pursuant to Land Use Ordinance Section 23.02.050. This land use permit is considered to be valid and in force once a construction permit has been issued and substantial site work has been completed. Substantial site work is defined by Land Use Ordinance Section 23.02.042 as site work progressed beyond grading and completion of structural foundations; and construction is occurring above grade.

40. All conditions of this approval shall be strictly adhered to, within the time frames specified, and in an on-going manner for the life of the project. Failure to comply with these conditions of approval may result in an immediate enforcement action by the Department of Planning and Building. If it is determined that violation(s) of these conditions of approval have occurred, or are occurring, this approval may be revoked pursuant to Section 23.10.160 of the Coastal Zone Land Use Ordinance.



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
MARVIN A. ROSE, INTERIM DIRECTOR

May 10, 2018

Kirk Consulting
Attn: Jamie Jones
8830 Morro Road
Atascadero, CA 93422

Avila Beach Dreams, LLC.
8625 North River Road
Paso Robles, CA 93446

NOTICE OF FINAL COUNTY ACTION

HEARING DATE: May 4, 2018

SUBJECT: AVILA BEACH DREAMS LLC.
County File Number: DRC2017-00103
Minor Use Permit / Coastal Development Permit
DOCUMENT NUMBER: 2018-046_PDH

LOCATED WITHIN COASTAL ZONE: YES

The above-referenced application was approved by the Hearing Officer, based on the approved Findings and Conditions, which are attached for your records. This Notice of Final Action is being mailed to you pursuant to Section 23.02.033(d) of the Land Use Ordinance.

This action is appealable to the Board of Supervisors within 14 days of this action. If there are Coastal grounds for the appeal there will be no fee. If an appeal is filed with non-coastal issues there is a fee of \$850.00. This action is appealable to the California Coastal Commission pursuant to regulations contained in Coastal Act Section 30603 and the County Coastal Zone Land Use Ordinance 23.01.043. These regulations contain specific time limits to appeal, criteria, and procedures that must be followed to appeal this action. The regulations provide the California Coastal Commission 10 working days following the expiration of the County appeal period to appeal the decision. This means that no construction permits can be issued until both the County appeal period and the additional Coastal Commission appeal period have expired without an appeal being filed.

Exhaustion of appeals at the county level is required prior to appealing the matter to the California Coastal Commission. This second appeal must be made directly to the California Coastal Commission Office. Contact the Commission's Santa Cruz Office at (831) 427-4863 for further information on their appeal procedures.

If the use authorized by this Permit approval has not been established or if substantial work on the property towards the establishment of the use is not in progress after a period of twenty-four (24) months from the date of this approval or such other time period as may be designated through conditions of approval of this Permit, this approval shall expire and become void unless an extension of time has been granted pursuant to the provisions of Section 23.02.050 of the Land Use Ordinance.

If the use authorized by this Permit approval, once established, is or has been unused, abandoned, discontinued, or has ceased for a period of six (6) months or conditions have not been complied with, such Permit approval shall become void.

If you have questions regarding your project, please contact, **Project Manager, Cody Scheel at (805) 781-5157**. If you have any questions regarding these procedures, please contact me at (805) 781-5718.

Sincerely,



Nicole Retana
Planning Department Hearings Secretary
County of San Luis Obispo
Department of Planning & Building

EXHIBIT A – FINDINGS
AVILA BEACH DREAMS, LLC (DRC2017-00103)

Environmental Determination

- A. The project qualifies for a Class 1 Categorical Exemption pursuant to State CEQA Guidelines Section 15301 because the project consists of the operation and leasing of the future (previously approved) duplex as residential vacation rentals, involving negligible or no expansion of the use beyond that existing at the time of the lead agency's determination.

Minor Use Permit/Coastal Development Permit

- B. The proposed vacation rentals are consistent with the San Luis Obispo County General Plan and Local Coastal Plan because the vacation rentals are an allowed use for the site, which has a Recreation land use designation and, as conditioned, is consistent with all of the General Plan and Local Coastal Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 23 of the County Code.
- D. The establishment and subsequent operation or conduct of the vacation rental use within 50 feet of other approved vacation rental uses will not, because of the circumstances and conditions applied in the particular case (fronting on Avila Beach Drive, adjacent to a public parking lot, within the Central Business District, adjacent similar visitor serving transient uses, etc.), be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the proposed residential vacation rentals do not generate activity that presents a potential threat to the surrounding property and buildings. The operational standards for vacation rentals as set forth in Coastal Zone Land Use Ordinance section 23.08.165 have been added as conditions of approval to this project. Because these standards further limit parking requirements to ensure only off-street parking is used by renters, limit the number of occupants and require the designation of a 24-hour property manager contact, potential impacts to surrounding property owners will be minimized. The proposed conditions of approval have routinely been added to other minor use permits for establishment of vacation rentals. This project is subject to Ordinance and Building Code requirements designed to address health, safety and welfare concerns.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the future (previously approved) duplex will not change, and the parcels on either side of the site are approved for vacation rental uses as well as many other lots on Colony Lane, and there are other commercial visitor serving uses adjacent to the site. The proposed residential vacation rentals are located in the Recreation land use category, which allows recreation and resort-oriented development, and other comparably impactful land uses, and, as conditioned, the residential vacation rentals will not conflict with the surrounding lands and uses

Additionally, the project is located within a Central Business District, has a Visitor Serving combining designation, and is an area that presently serves tourists and visitors to the coast and coastal communities, and residential vacations rentals are consistent with the character and purpose of the Recreation land use category.

- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project, because the traffic associated with the vacation rental use is similar to that of a single-family residence, and the project is located on Avila Beach Drive with access from Colony Lane, which are both constructed to a level able to handle any traffic associated with the project, and no additional traffic is anticipated with the project because it would use a future (previously approved) duplex as residential vacation rentals. As conditioned, vehicles used and traffic generated by the residential vacation rentals shall not exceed the type of vehicles or traffic volume normally generated by a home occupied by a full time resident in a residential neighborhood. Normal residential traffic volume means up to 10 trips per day. Additionally, the proposed residential vacation rentals will include a condition that all parking associated with the residential vacation rentals shall be entirely on-site, in a garage, driveway or otherwise out of the roadway.

Coastal Access

- G. The proposed use is in conformity with the public access and recreation policies of Chapter 3 of the California Coastal Act, because the project site is not adjacent to a public coastal access way and will not inhibit public access to coastal waters and recreation areas, primarily because the future occupants will not be allowed to park in on-street parking stalls, which will have the effect of preserving those stalls for the visitor-serving public who travel to Avila Beach for coastal recreation.

Modification

- H. Modification of the location standard, as set forth in Section 23.08.0165 – Residential Vacation Rentals, may be modified to less than 50 feet because the project is consistent with all other provisions of this section and because there are specific conditions relative to the site including site location, access and onsite parking that justifies the residential units to be used as vacation rentals. The modification can be supported because of the existing pattern of the previously approved vacation rentals along the Pacific Coast Railroad right-of-way Colony Lots in the Recreation land use category. The site is located within Avila Beach's Central Business district and is in the Recreation land use category. The project will provide two enclosed garage parking spaces per unit, and two additional off-street guest parking spaces on the east side of the duplex, and all parking associated with the residential vacation rentals are conditioned to be entirely on-site, in a garage, driveway, or otherwise out of the roadway. The site is accessed from a private access driveway (Colony Lane) and fronts a main arterial road, making it easily accessible for visitors. The size and location of the lot between Avila Beach Drive on one side and Colony Lane on the other, across the street from the Avila Beach Golf Course, surrounded by recreational and other visitor serving uses and a public parking lot make the site most suitable for vacation rental uses. Given the visitor serving nature of the surrounding neighborhood, the unique location of the project site, off-street parking availability, private access driveway (Colony Lane), and because the proposed use would not create any significant impacts as conditioned, the project meets all CZLUO standards for residential vacation rentals and the modification of the location standard is justified.

**EXHIBIT B - CONDITIONS OF APPROVAL
DRC2017-00103 AVILA BEACH DREAMS, LLC**

Authorized Use

1. This Minor Use Permit / Coastal Development Permit authorizes the use of a previously approved duplex (located at 2895 Avila Beach Drive) as residential vacation rentals.

Residential Vacation Rental Operational Conditions

2. Rental of the residence shall not exceed four individual tenancies per calendar month. The first day of each tenancy determines the month assigned to that tenancy. No additional occupancy of the residence (with the exception of the property owner and private non-paying guests) shall occur. A residential vacation rental shall only be used for the purposes of occupancy as a vacation rental or as a full time occupied residence. No other use (i.e.: home occupation, temporary event, homestay) shall be allowed on the site.
3. The maximum number of occupants allowed in the residential vacation rentals shall not exceed the number of occupants that can be accommodated consistent with the onsite parking requirement, and shall not exceed two persons per bedroom plus two additional persons, or 14 persons total. A maximum of 6 persons is allowed in the two bedroom unit, and a maximum of 8 persons is allowed in the three bedroom unit.
4. The residential vacation rentals are not to change the residential character of the outside appearance of the building, either by the use of colors, materials, lighting, or by the construction of accessory structures or garages visible from off-site and not of the same architectural character as the residential units; or by the emission of noise, glare, flashing lights, vibrations or odors not commonly experienced in residential areas.
5. Availability of the rental unit to the public shall not be advertised on site, and the rental unit shall not advertise on-street parking. Any and all advertising for the vacation rentals shall be consistent with these conditions of approval.
6. Vehicles used and traffic generated by the residential vacation rentals shall not exceed the type of vehicles or traffic volume normally generated by a home occupied by a full time resident in a residential neighborhood. Normal residential traffic volume means up to 10 trips per day.
7. All parking associated with the residential vacation rentals shall be entirely on-site, in a garage, driveway or otherwise out of the roadway. Tenants of the vacation rentals shall not use on-street parking at any time. There is a total of two enclosed garage parking spaces per unit and two additional guest parking spaces on the east side of the duplex, for a total of 6 on-site parking spaces.

8. The residential vacation rentals shall comply with the standards of Section 23.06.040 et seq. (Noise Standards). No residential vacation rental is to involve on-site use of equipment requiring more than standard household electrical current at 110 or 220 volts or that produces noise, dust, odor or vibration detrimental to occupants of adjoining dwellings. The property owners and/or property managers shall insure that the occupants of the residential vacation rentals do not create loud or unreasonable noise that disturbs others and is not in keeping with the character of the surrounding neighborhood. Loud and unreasonable noise shall be evaluated through field observations by a County Sheriff, County Code Enforcement or other official personnel, based upon a threshold of noise disturbance related to the residential vacation rental use that is audible from a distance of 50 feet from the property lines of the rental property.

9. The property owner shall designate a local property manager or contact person. The local property manager or contact person shall be available 24 hours a day to respond to tenant and neighborhood questions or concerns. Where a property owner lives within the same community as the residential vacation rentals, the property owner may designate themselves as the local contact person. The following requirements shall apply:
 - a. A notice shall be submitted to the Department of Planning and Building, the local Sheriff Substation, the main county Sheriff's Office; the local fire agency and supplied to the property owners within a 200 foot radius of the proposed residential vacation rentals site. Distances shall be measured as a radius from the exterior property lines of the property containing the residential vacation rental units. This notice shall state the property owner's intention to establish the residential vacation rentals and shall include the name, address and phone number of the local contact person and the standards for noise, parking and maximum number of occupants. A copy of the notice, a form certifying that the notice has been sent and a list of the property owners notified shall be supplied to the Planning and Building Department at the time of application for the Business License and Transient Occupancy Tax Certificate for the residential vacation rentals.

 - b. The name, address and telephone number(s) of the local contact person shall be permanently posted in the rental units in a prominent location(s). Any change in the local contact person's address or telephone number shall be promptly furnished to the agencies and neighboring property owners. In addition, the standards for parking, maximum occupancy and noise shall be posted inside the residential vacation rental units and shall be incorporated as an addendum to the vacation rentals contracts.

10. The residential vacation rental shall meet the regulations and standards set forth in Chapter 3.08 of the County Code, including any required payment of transient occupancy tax for the residential vacation rental. The Transient Occupancy Tax Certificate number shall be included in all advertising for the residential vacation rental.

11. Penalties for violation of these conditions of approval may include revocation of the Minor Use Permit, Zoning Clearance and/or Business License. Violations that will cause the processing of revocation include:
 - a. Failure to notify County staff when the contact person, or contact information, changes.
 - b. Violation of the residential vacation rental tenancy standards.
 - c. Violation of the residential vacation rental maximum occupancy, parking and noise requirements.
 - d. The inability of County staff or the Sheriff's Dispatch to reach a contact person.
 - e. Failure of the local contact person, or property owner, to respond to a complaint.

Three verified violations, as determined by a County Planning and Building staff person, within any consecutive six month period, shall be grounds for revocation of the Minor Use Permit, Zoning Clearance and/or Business License. Signed affidavits by members of the community may be used to verify violations. Revocation of the Minor Use Permit, Zoning Clearance and/or Business License shall follow the same procedure used for land use permit revocation as set forth in Section 23.10.160 of the Coastal Zone Land Use Ordinance. The Director of Planning and Building will hold the initial revocation hearing.

On-going conditions of approval (valid for the life of the project)

12. The land use permit is valid for a period of 24 months from its effective date, as define in Coastal Zone Land Use Ordinance Section 23.02.039, unless time extensions are granted pursuant to Coastal Zone Land Use Ordinance Section 23.02.050 or the land use permit is considered valid and in force. This land use permit is considered to be exercised and in force once a business license is issued for the residential vacation rental and proof of Transient Occupancy Tax payment to the County Tax Collector is submitted to the Department of Planning and Building within 24 months of approval. If the County Tax Collector's business license for the use authorized through this Minor Use Permit lapses and expires for a period greater than 12 consecutive months, this land use permit shall be deemed to have lapsed pursuant to Section 23.02.052 of the Coastal Zone Land Use Ordinance.
13. All conditions of this approval shall be strictly adhered to, within the time frames specified, and in an on-going manner for the life of the project. Failure to comply with these conditions of approval may result in an immediate enforcement action by the Department of Planning and Building. If it is determined that violation(s) of these conditions of approval have occurred, or are occurring, this approval may be revoked pursuant to Section 23.10.160 of the Coastal Zone Land Use Ordinance.



OVERVIEW

PARCEL STATUS	Active
TAX CODE	
PRIMARY OWNER	AVILA BEACH DREAMS LLC PO BOX 3828 PASO ROBLES, CA 93447-3828
SECONDARY OWNERS	2008-06-27 2018-R-031574 AVILA BEACH DREAMS LLC A CA LLC
PARCEL ADDRESS(ES)	2855 AVILA BEACH DR AVILA BEACH, CA 93424 2855 AVILA BEACH DR AVILA BEACH, CA 93424
COMMUNITY	Avila Beach
ADVISORY COUNCIL	Avila Valley Advisory Council
LEGAL DESCRIPTION	PM 54-73 PAR 12
PLANNING AREA(S)	San Luis Bay Coastal Planning Area
LAND USE	Residential Multi-Family
COMBINING DESIGNATIONS	Local Coastal Program
PLANNING AREA STANDARDS	22.106.010, 22.14.060, T23 SL Bay, T23 SLBay
PARCEL FLAGS	CAZ - Coastal Appealable Zone, LCP - Local Coastal Plan, MS4 - MS4 Stormwater Area, RD1 - Road Fee Area - Avila, RMF - Residential Multi-Family, STM - Stormwater Management Area

PARCEL HISTORY

Submitted	Case Number	Case Type	Status
08/26/2021	AMEND2021-00002	Amendment	Information Hold
<i>Minor Use Permit Amendment to DRC2015-00098 to allow the modifications to site plans, floor plans, and elevations and conditions of approval.</i>			
08/23/2021	P-APP2021-00337	Application	Submitted
<i>Minor Use Permit Amendment to DRC2015-00098 to allow the modifications to site plans, floor plans, and elevations.</i>			
07/06/2021	MOD2021-00001	Project Modification	Submitted
<i>The project modification for minor changes to the floor plans, site plans, and elevations for the duplex units Lot 12 and Lot 13. (DRC2015-00098)</i>			
07/01/2021	P-APP-2021-00267	Application	Submitted
<i>The project modification for minor changes to the floor plans, site plans, and elevations for the duplex units Lot 12 and Lot 13. (DRC2015-00098)</i>			
12/14/2020	PMTR2020-01481	PMTR - Residential Permit	In Review
<i>FIRE SPRINKLERS FOR PMTR2018-01500</i>			
07/31/2018	PMTR2018-01500	PMTR - Residential Permit	Expired
<i>DUPLEX, LOT 12, UNIT 1 (885 SF) WITH DECK (704 SF), UNIT 2 (1170 SF) WITH DECK (746 SF) W/ ATTACHED GARAGE (2176 SF), PRECISE MINOR GRADING, SITE RETAINING WALL (145 LIN. FT) & SHORING (50 LIN. FT) - PROPOSES WORKING ON ADJ. PARCEL, NEED TO AMEND PMT & GET LAND OWNER CONSENT FOR ADJACENT PARCEL LOT 13.</i>			
02/26/2016	DRC2015-00098	Land Use (PRE 7/1/2021)	Approved
<i>MULTI FAMILY DUPLEX & VACATION RENTALS</i>			
10/08/2004	SUB2004-00132	Subdivision (PRE 7/1/2021)	Approved
<i>ROAD NAME FOR ACCESS EASEMENT-COLONY LANE</i>			
12/17/2003	PMT2003-02025	PMTG - Grading Permit	Withdrawn
<i>GRADING MAJOR JOHN EVANS,RCE-CANNON/GEO SOLUTIONS-J.OTTO,RCE/ NEEDS SWPPP ADDRESS DRAINAGE, HAZARDOUS WASTE, & SEDIMENTATION CONTROL. (SEE PMT2002-29458) - PMT VOIDED</i>			
06/20/2003	PMT2002-29458	PMTG - Grading Permit	Finald
<i>3RD SCOPE OF WORK PROPOSED IS TO DO MINUMAL GRAD'G & CONSTRUCT AN AC ACCESS DRIVE & UTILITIES ONLY SERVING 14 LOTS. NO PAD CERTIFICATION OR PAD GRADING IS PROPOSED. OFF-SITE IMPROVEMENTS ARE TO BE APPROVED BY PW (IE.,CURB,GUTTER,SIDEWALK,PAVING)/ JOHN EVANS,RCE - CANNON /GEO SOLUTIONS-J.OTTO,RCE /HAS RECORDED ACCESS EASEMENT. NEED UTILITY EASEMENT. HAS SWPPP/WDID #340C324289. PLANS REVIEWED BY GLEN MARSHAL AT PW ON BEHALF OF BUILDING.</i>			
05/07/2001	PMT2002-11100	PMTR - Residential Permit	Expired
<i>SFD W/ATT GARAGE/LOT 12/UNIT B 312-19172</i>			
05/04/2001	PMT2002-11097	PMTR - Residential Permit	Expired
<i>SFD W/ATT GARAGE/LOT 12, UNIT A 312-19172</i>			
05/04/2001	S000328L	Subdivision (PRE 7/1/2021)	Withdrawn
<i>LOT LINE ADJUSTMENT</i>			

05/04/2001	D000425D	Land Use (PRE 7/1/2021)	Approved
<i>24 HOMES</i>			
12/10/1999	A9050	PMTG - Grading Permit	Finald
<i>FORMER LYON/TOGNAZINNI SITE EXCAVATE AFFECTED SOIL & BACKFILL WITH CLEAN</i>			
09/20/1996	S960044L	Subdivision (PRE 7/1/2021)	Recorded
<i>LOT LINE ADJUSTMENT - 14 PARCELS REQUESTED</i>			
09/20/1996	P960213Z	Zoning Clearance (PRE 7/1/2021)	Withdrawn
<i>ENTERED IN ERROR</i>			
05/14/1996	G850028N	Long Range Planning (PRE 7/1/2021)	Withdrawn
<i>LU DELETE RAIL ROAD ROW STANDARD</i>			
03/05/1996	D950168P	Land Use (PRE 7/1/2021)	Withdrawn
<i>TAKEN IN ERROR SHOULD BE LOT LINE ADJ</i>			
02/29/1996	S950124C	Subdivision (PRE 7/1/2021)	Recorded
<i>PROP 14 CERT OF COMP</i>			



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<i>Minor Use Permit Amendment to DRC2015-00098 to allow the modifications to site plans, floor plans, and elevations.</i>			
07/06/2021	MOD2021-00001	Project Modification	Submitted
<i>The project modification for minor changes to the floor plans, site plans, and elevations for the duplex units Lot 12 and Lot 13. (DRC2015-00098)</i>			
07/01/2021	P-APP-2021-00267	Application	Submitted
<i>The project modification for minor changes to the floor plans, site plans, and elevations for the duplex units Lot 12 and Lot 13. (DRC2015-00098)</i>			
12/14/2020	PMTR2020-01482	PMTR - Residential Permit	Intake
<i>FIRE SPRINKLERS FOR PMTR2018-01501</i>			
07/31/2018	PMTR2018-01501	PMTR - Residential Permit	Expired
<i>DUPLEX - LOT 13 - UNIT 1 (885 SF) WITH DECKS (704 SF), UNIT 2 (1170 SF) W/ DECKS (746 SF), & ATTACHED GARAGE/STORAGE (2176 SF), INCLUDES PRECISE MINOR GRADING, RETAINING WALLS (120 LIN. FT.) AND SHORING (30 LIN. FT.) NEED TO AMEND PMT & GET LAND OWNER CONSENT FOR ADJACENT PARCEL LOT 12.</i>			
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05/07/2001	PMT2002-11106	PMTR - Residential Permit	Expired
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05/07/2001	PMT2002-11103	PMTR - Residential Permit	Expired
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Interactive Data Viewer



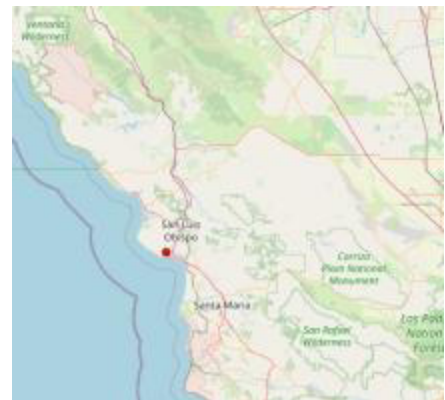
Legend

- SLO County Parcels
- Roads**
- CalTrans
- Maintained by SLO CO
- Private Maintenance
- Federal or State Maintenance
- Community Advisory Groups**
- Community Advisory Group Boundary
- Cayucos Citizens Advisory Council Subarea
- Creston Advisory Body Sub Areas
- Supervisor Districts
- SLO County Boundary

-188.08 0 94.04 188.08 Feet 1: 1,128



The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.



Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
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- Maintained by SLO CO
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- Federal or State Maintenance
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- Community Advisory Group Boundary
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- Supervisor Districts
- SLO County Boundary

-376.17 0 188.08 376.17 Feet 1: 2,257



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Map for Reference Purposes Only

