



THIS IS A NEW PROJECT REFERRAL / SUMMARY *

DATE: 3/3/2021
TO: 3rd Legislative Assistant, Building, Public Works, Stormwater, Avila Valley Advisory Council, Avila CSD, Coastal Commission
FROM: Kerry Brown (kbrown@co.slo.ca.us) 805-781-5713

PROJECT NUMBER & NAME: Variance and Minor Use Permit DRC2021-00041 Keese

PROJECT DESCRIPTION*: A request by Jim and Bill Keese for a Variance/Development Plan/Coastal Development Permit to allow for the development of two approximately 1,950 sf single family residential units on a single lot. The project includes a request for a Variance to allow grading on slopes in excess of 30%. In addition, the project includes a request to modify the location standard for vacation rentals per the Coastal Zone Land Use Ordinance to allow the proposed residences to be used as two separate residential vacation rentals.

APN(s): 076-222-025

Please submit comments within 14 days from receipt of this referral. CACs please respond within 60 days. Thank you. In your response, please consider and/or indicate the following:

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE INDICATE (VIA E-MAIL OR PHONE).

Table with 3 columns: Date, Name, Phone



COUNTY OF SAN LUIS OBISPO
 DEPARTMENT OF PLANNING & BUILDING
 Land Use -- Project Information Form

PLN-1004
 04/01/2020

APPLICATION TYPE - CHECK ALL THAT APPLY

- | | |
|---|--|
| <input type="checkbox"/> Emergency Permit | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Tree Removal Permit | <input type="checkbox"/> Surface Mining/Reclamation Plan |
| <input type="checkbox"/> Minor Use Permit | <input type="checkbox"/> Zoning Clearance |
| <input checked="" type="checkbox"/> Conditional Use Permit/Development Plan | <input type="checkbox"/> Amendment to approved Land Use Permit |
| <input type="checkbox"/> Plot Plan | <input checked="" type="checkbox"/> Variance |
| <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver | <input type="checkbox"/> Other _____ |

TYPE OF PROJECT:

- Commercial Industrial
 Residential Recreational ___ Other: _____

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable):

Request to modify location standard to allow residences to be used as Vacation Rentals.
 Variance to allow grading on slopes in excess of 30% to allow for the development of two residences on the property.

Describe existing and future access to the proposed project site:

Existing and future access from Front Street and San Antonia Street.

SURROUNDING PARCEL OWNERSHIP Do you own adjacent property? YES NO

If YES, what is the acreage of all property you own that surrounds the project site?

214 Front Street, Avila Beach

SURROUNDING LAND USE What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential multi-family / SFR South:
Recreation / Avila Beach and Pacific Ocean

East: Residential multi-family / SFR West:
Residential multi-family / SFR and Inn at Avila Beach

FOR ALL PROJECTS, ANSWER THE FOLLOWING - Square footage and percentage of the total site (approximately) that will be used:

Buildings: 2,466 sq. feet 65 % Landscaping: 877 sq. feet _____ %
 Paving: 2,115 sq. feet _____ % Other: 543 sq. feet 40 %

Total area of all paving structures: 4,581 sq. feet acres

Total area of grading or removal of ground cover: 0.14-acres _____ sq. feet _____ acres

Land Use – Project Information Form

Trees:

Number of trees to be removed: 0

Type(s) of tree(s):

N/A - no trees on-site

Setbacks:

Front 20 Back 10 Left 0 Right 0

PROPOSED WATER SOURCE:

On-Site Well Shared Well Other: _____

Community System (agency / company responsible for the provision of water):

Avila Beach Community Services District

WILL-SERVE LETTER?

Yes (If yes, please submit copy)
 No

PROPOSED SEWAGE DISPOSAL

Individual On-Site System
 Other: _____
 Community System (list the agency or company responsible provision):
Avila Beach Community Services District

WILL-SERVE LETTER?

Yes (If yes, please submit copy)
 No

RESPONSIBLE FIRE PROTECTION AGENCY:

Cal Fire

FOR COMMERCIAL/INDUSTRIAL PROJECTS ANSWER THE FOLLOWING:

Total outdoor use area: _____ sq. feet _____ acres

N/A

Total floor area of all structures including upper stories: _____ sq. feet

FOR RESIDENTIAL PROJECTS, ANSWER THE FOLLOWING:

Number of residential units: 2 Number of bedrooms per unit: 3-4 bedrooms

Total floor area of all structures including upper stories, but not garages and carports: _____ sq. feet

Total of area of the lot(s) minus building footprint and parking spaces: 3,113 sq. feet



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
General Application Contact Information

GEN-3000
04/01/2020

Staff: Input File Number or File Label Here Please check ONLY ONE of the contacts as the 'Primary Billing Contact' to appear on invoices and receipts			PROPERTY OWNER <input checked="" type="checkbox"/> Primary Billing Contact Name: Bill and Jim Keese Company: Telephone: (805) 458-6831 Email Address: jkeese@calpoly.edu Mailing address: 394 Tolosa Way City: San Luis Obispo State: CA Zip Code: 93405	
APPLICANT <input type="checkbox"/> Primary Billing Contact			AUTHORIZED AGENT <input type="checkbox"/> Primary Billing Contact Name: Megan Martin and Amber Davis Company: Quest Planning Telephone: (559) 917-1070 Email address: megan@questplanning.net Mailing Address: 3186 Daisy Lane City: SLO State: CA Zip Code: 93401	
PROPERTY INFORMATION Assessor's Parcel Number: 076-222-025 Physical address: N/A Total size, in acres: 0.14 Directions to the property (include landmarks and any gate codes): South or North on HWY 101, exit Avila Beach Drive heading South. Left onto San Miguel Street. Left onto Front Street. Project site located on the northeasterly corner of Front and San Antonia Streets. Describe current uses on the property (include structures, improvements, and vegetation): Vacant, undeveloped with scattered non-native grasses.				
PROJECT INFORMATION Briefly describe the proposed project (include all uses and building heights and areas, in square-feet) and attach supplemental info as necessary: A request by Bill and Jim Keese for a Variance to grade on slopes in excess of 30% to allow for the development of two residences. Also to be considered is a request for a Development Plan/Coastal Development permit to allow for the development of two, separate, approximately 1,950 sf single family residential units on a single lot using the 'high intensity factor' (65% maximum floor area and 40% minimum open area; CZLUO Section 23.04.084), and a request to modify the location standard for vacation rentals per the Coastal Zone Land Use Ordinance to allow the proposed residences to be used as two separate residential vacation rentals.				

Legal Declaration

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

SIGNATURE: Bill Keese, Jim Keese **DATE:** 1/19/2021

NOTE: Your application is public record and information regarding your application is available both in person and online via the Department of Planning & Building. All references to names, addresses, telephone numbers, email addresses and project details are part of this public record. All applications must be filed under the subject property's owner of record; however, you may use an alternate contact address and telephone number.



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Environmental Description

PLN-1003
01/01/2020

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

1. Answer ALL the questions as accurately and completely as possible.
2. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
3. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
4. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

PHYSICAL SITE CHARACTERISTICS			
Acres with 0-10% slopes: 0	Acres with 10-20% slopes: 0.05 acres (2,200 sf)	Acres with 20-30% slopes: 0.066 acres (2,875 sf)	Acres over 30% slopes: 0.020 acres (875 sf)
Are there any springs, streams, lakes, or marshes on or near the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____ _____		Are there any flooding problems on the site or in the surrounding area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____ _____	
Has a drainage plan been prepared? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please attach a copy.		Has there been any grading or earthwork on the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____ _____	
Has a grading plan been prepared? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please attach a copy. Preliminary grading and drainage plans included with submittal.		Are there any sewer ponds/waste disposal sites on or adjacent to the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____ _____	
Are there any railroads or highways within 300 feet of the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____		Can the site be seen from surrounding public roads? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please describe: Front Street and San Antonia Street	

Environmental Description

WATER SUPPLY INFORMATION	
What type of water supply is proposed? <input type="checkbox"/> Individual Well <input type="checkbox"/> Shared Well <input checked="" type="checkbox"/> Community Water System	What is the proposed use of the water? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential If non-residential, please describe: _____ _____
What is the expected daily water demand associated with the project? <u>910 gpd; cumulative</u>	How many service connections will be required? <u>2</u>
Do operable water facilities exist on the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____ _____	Has there been a sustained yield test on proposed or existing wells? <input type="checkbox"/> Yes <input type="checkbox"/> No N/A If yes, please attach a copy.
Does Water Meet the Health Agency's Quality Requirements? <input type="checkbox"/> Yes <input type="checkbox"/> No	Bacteriological? <input type="checkbox"/> Yes <input type="checkbox"/> No
Chemical? <input type="checkbox"/> Yes <input type="checkbox"/> No	Physical? <input type="checkbox"/> Yes <input type="checkbox"/> No
Water analysis report submitted. <input type="checkbox"/> Yes <input type="checkbox"/> No	
Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health:	
<input type="checkbox"/> Well Driller's Letter <input type="checkbox"/> Water Quality Analysis OK Problems <input checked="" type="checkbox"/> Will-Serve Letter <input type="checkbox"/> Other: _____	<input type="checkbox"/> Pump Test Hours: <input type="checkbox"/> GPM: <input type="checkbox"/> <input type="checkbox"/> Surrounding Well Logs <input type="checkbox"/> Hydrologic Study
SEWAGE DISPOSAL INFORMATION (ON-SITE INDIVIDUAL DISPOSAL SYSTEM)	
Has an engineered percolation test been completed? <input type="radio"/> Yes <input type="radio"/> No N/A If yes, please attach a copy.	Has a piezometer test been completed? <input type="radio"/> Yes <input type="radio"/> No If yes, please attach a copy.
Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions? <input type="checkbox"/> Yes <input type="checkbox"/> No	Will a Waste Discharge Permit from the Regional Water Quality Control Board be required a waste discharge (typically needed in excess of 2,500 gallons per day)? <input type="radio"/> Yes <input type="radio"/> No
What is the distance from proposed leach field to any neighboring water wells? _____ feet	

Environmental Description

SEWAGE DISPOSAL INFORMATION (COMMUNITY DISPOSAL SYSTEM)	
Is this project to be connected to an existing sewer line? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Distance to nearest sewer line: <u>40 feet</u>	Location of connection: <u>civil sheet C2.0</u>
What is the amount of proposed flow? <u>825</u> (gallons per day)	Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
SOLID WASTE INFORMATION	
What is the name of solid waste disposal company? <u>South County Sanitary Services</u>	Where is the waste disposal storage in relation to buildings? <u>On same site, see project site plans.</u>
What type of solid waste will be generated by the project? <input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural <input type="checkbox"/> Other If other, please describe: _____	Does your project design include an area for collecting recyclable materials and/or composting materials? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
COMMUNITY SERVICE INFORMATION	
Name of school district: <u>San Luis Coastal Unified School District</u>	
Are services (grocery/other shopping) within ½ mile of the project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Location of nearest... Police station: <u>Pismo Beach Police Department</u> Fire station: <u>Cal Fire Station 62, Avila Beach</u> Public transit stop: _____
HISTORIC AND ARCHEOLOGICAL INFORMATION	
Describe the historic use of the site: <u>Vacant, undeveloped</u>	
Are you aware of the presence of any historic, cultural, or archaeological materials on the project site or in the vicinity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please describe: _____	Has an archaeological surface survey been done for the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please attach two copies.
AGRICULTURAL INFORMATION	
If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? <u>N/A</u>	
Is the site currently in Agricultural Preserve (Williamson Act)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is the site currently under land conservation contract? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Environmental Description

SPECIAL PROJECT INFORMATION

Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan):
N/A

Will the development occur in phases?
 Yes No
 If yes, please describe: _____

Are there any proposed or existing deed restrictions?
 Yes No
 If yes, please describe: _____

Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?
 Yes No
 If yes, please describe: _____

ENERGY CONSERVATION INFORMATION

Describe any special energy conservation measures or building materials that will be incorporated into your project:

ENVIRONMENTAL INFORMATION

List any mitigation measures that you propose to lessen the impacts associated with your project:
N/A

Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?
 Yes No
 If yes, please describe: _____

Are you aware of any previous environmental determinations for all or portions of this property?
 Yes No
 If yes, please describe and provide permit or subdivision numbers(s): _____

OTHER RELATED PERMITS

List all permits, licenses or government approvals that will be required for your project (federal, state, and local):
 Coastal Development Permit (CDP; Coastal Commission)
 Construction/Building permits (SLO County)



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Information Disclosure Form

PLN-1006
01/24/2020

Time Limits for Processing and Public Notice Distribution Requirements

California state law (California Government Code Section 65941.5) requires that the County provide the following information to applicants, when a permit application is filed:

- Not later than 30 days after a land use or land division application is received, the county must notify the project applicant or designated representative in writing either that the application is complete, or that items are necessary to complete the application. If you are not notified in writing, the application is considered complete. Any land use or land division application receiving a Negative Declaration must be approved or denied within 60 days of its adoption. If the project is exempt under CEQA, the project must be approved or denied within 90 days of acceptance. For land use/land division applications subject to an Environmental Impact Report (EIR), project approval/denial shall be within six months of the certification of the EIR. The County of San Luis Obispo processes the land use application and the environmental review concurrently, so these decisions are made simultaneously. (Government Code Sections 65943 and 65950, et seq.)
- A project applicant may make a written request to the county to receive notice of any proposal to adopt or amend the general plan and the land use, real property division, building and construction, road name and addressing, and growth management ordinances which might reasonably be expected to affect that applicant's project. The county offers a subscription service for notification of either: (1) all applications received by the county, or (2) Planning Commission agendas. The cost for each of these services is established by the county fee ordinance. (Government Code Sections 65945, 65945.3 and 65945.5)
- When a property was created through recordation of a final or parcel map, and it is within five years of recordation, the county cannot withhold or condition the issuance of building permits for residential units based on conformance with conditions that could have been imposed as conditions of the tentative map, except where: (1) A failure to do so would place subdivision residents or residents in the immediate area in a condition perilous to health, safety or both; or (2) The condition is required in order to comply with state or federal law. (Government Code Section 65961)
- Copies of Government Code Sections are available at the County of San Luis Obispo Law Library, County Government Center, San Luis Obispo, California.

Right to Farm Disclosure

The County of San Luis Obispo recognizes the statewide policy to protect and encourage Agriculture. Sections 3482.5 and 3482.6 of the California Civil Code and Chapter 5.16. of the San Luis Obispo County Code protect certain, pre-existing agricultural production and processing operations ("agricultural operation") from nuisance claims. If your property is near a protected agricultural operation, you may be subject to certain inconveniences and/or discomforts which are protected by law. In order for the agricultural operation to be protected, the following requirements of Civil Code Sections 3482.5 and 3482.6 must be satisfied:

PLN-1006
01/24/2020

Information Disclosure Form

1. The agricultural operation must be conducted or maintained for commercial purposes;
2. The agricultural operation must be conducted or maintained in a manner consistent with proper and accepted customs and standards as established and followed by similar agricultural operations in the same locality;
3. The agricultural operation predated the affected use(s) on your property; (4) The agricultural operation has been in existence for more than three years; and (5) The agricultural operation was not a nuisance at the time it began.

If your property is near an agricultural operation in the unincorporated area of the County which satisfies the above requirements, you may at times be subject to one or more inconveniences and/or discomfort arising from that operation. Such inconveniences may include (depending upon the type of agricultural operation protected), but are not necessarily limited to, the following: noise, odors, fumes, dust, legal pesticide use, fertilizers, smoke, insects, farm personnel and truck traffic, visual impacts, night time lighting, operation of machinery and the storage, warehousing and processing of agricultural products or other inconveniences or discomforts associated with the protected agricultural operations. For additional information pertaining to this disclosure and the Right to Farm Ordinance, or concerns with an agricultural operation, please contact the San Luis Obispo County Agricultural Commissioner's Office.


Landfill Disclosure

Please answer the following question: "This project is within ½ mile of one of the landfills in the North County planning area (Paso Robles Municipal or Chicago Grade Landfills)" Yes No

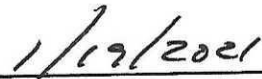
Acknowledgement

I acknowledge that I have read and understand the sections detailed above:

1. Time Limits for Processing and Public Notice Distribution Requirements
2. Right to Farm Disclosure
3. Landfill Disclosure



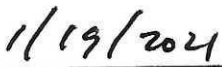
 Applicant Signature



 Date



 Additional Applicant Signature (if applicable)



 Date



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
Land Use Consent of Property Owner

PLN-1012
04/01/2020

Property Address: Intersection of Front Street and San Antonia Street; 208 Front Street	APN(s): 076-222-025
Project Description: A request by Bill and Jim Keese for a Variance to grade on slopes in excess of 30% to allow for the development of two residences. Also to be considered is a request for a Development Plan/Coastal Development permit to allow for the development of two, separate, approximately 1,950 sf single family residential units on a single lot using the 'high intensity factor' (65% maximum floor area and 40% minimum open area; CZLUO Section 23.04.084), and a request to modify the location standard for vacation rentals per the Coastal Zone Land Use Ordinance to allow the proposed residences to be used as two separate residential vacation rentals.	

CONSENT

I (we) the undersigned owner(s*) of record of the fee interest in the parcel of land located at the above address, identified as the above Assessor Parcel Number, for which a construction permit, land use permit, land division, general plan or ordinance amendment, or LAFCO application referral is being filed with the County requesting an approval for the above project description, do hereby certify that:

- Such application may be filed and processed with my (our) full consent, and that I (we) have authorized the agent named below to act as my (our) agent in all contacts with the county and to sign for all necessary permit applications in connection with this matter.
- I (we) hereby grant consent to the County of San Luis Obispo, its officers, agents, employees, independent contractors, consultants, sub-consultants and their officers, agents, and employees to enter the property identified above to conduct any and all surveys and inspections that are considered appropriate by the inspecting person or entity to process this application. This consent also extends to governmental entities other than the county, their officers, agencies, employees, independent contractors, consultants, sub-consultants, and their officers agents or employees if the other governmental entities are providing review, inspections and surveys to assist the county in processing this application. This consent will expire upon completion of the project.
- If prior notice is required for an entry to survey or inspect the property, please contact:
- I (we) hereby give notice of the following concealed or unconcealed dangerous conditions on the property (dogs, hazardous materials, or specify none)

CONSENT GRANTOR / PROPERTY OWNER		AUTHORIZED AGENT FOR CONSENT GRANTOR	
Name: Jim Keese	Phone: (805) 458-6831	Name: Megan Martin and Amber Davis	Phone: (559)917-1071
Bill Keese		Company / Agency: Quest Planning	Email: megan@questplanning.net
Full Mailing Address: 394 Tolosa Way, SLO, CA 93405		Full Mailing Address: 3186 Daisy Lane, SLO, CA 93401	
Signature: <i>Bill Keese</i>	Date: 1/19/2021	Signature: <i>Megan Martin</i>	Date:

*attach additional PLN-1012 forms for multiple owners, if applicable

Jim Keese 1/19/2021



OVERVIEW

PARCEL STATUS Active

TAX CODE

PRIMARY OWNER KEESE WILLIAM A TRE ETAL
 1450 DOVE MEADOW RD SOLVANG, CA 93463-9623

SECONDARY OWNERS

2015-08-27	2019-R-007099	KEESE JAMES R	(TR 2)(TRS)
2015-12-17	2019-R-007099	KEESE WILLIAM A	(TR 1)(TRS)
2018-09-15	2019-R-007099	KEESE JAMES R SEPARATE PROPERTY TRUST (TR 2)	
2018-09-15	2019-R-007099	KEESE WILLIAM A SEPARATE PROPERTY TRUST (TR 1)	

PARCEL ADDRESS(ES) ,

COMMUNITY Avila Beach

ADVISORY COUNCIL Avila Valley Advisory Council

LEGAL DESCRIPTION TN AVILA BL 14 PTN LTS 9,10 & 11

PLANNING AREA(S) San Luis Bay Coastal Planning Area

LAND USE Residential Multi-Family

COMBINING DESIGNATIONS Archaeologically Sensitive Area, Local Coastal Program

PLANNING AREA STANDARDS 22.106.010, T23 SL Bay, T23 SLBay

PARCEL FLAGS AS - Archeologically Sensitive Area, CAZ - Coastal Appealable Zone, LCP - Local Coastal Plan, MS4 - MS4 Stormwater Area, RD1 - Road Fee Area - Avila, RMF - Residential Multi-Family, STM - Stormwater Management Area

PARCEL HISTORY

Submitted	Case Number	Case Type	Status
02/03/2021	DRC2021-00041	Land Use	Submitted
<i>CONSTRUCT TWO 1,950 SF SFR AND GRADING ON SLOPES OVER 30% AND TO BE USED AS SEPARATE VACATION RENTAL</i>			
10/08/2019	PRE2019-00126	Pre-Application	Completed
<i>KEESE - Two SFR's, each with a studio unit</i>			
08/10/2004	SUB2004-00048	Subdivision	Recorded
<i>LOT LINE ADJ/FRONT ST AVILA BCH</i>			
04/28/2004	SUB2003-00187	Subdivision	Recorded
<i>PROP 1 CERT OF COMP</i>			
04/28/2004	SUB2003-00188	Subdivision	Recorded
<i>PROP 4 TO 2 MERGER</i>			
11/08/1999	A8455	PMTR - Residential Permit	Finald
<i>ELECTRICAL UPGRADE</i>			



- Legend**
- Roads with address ranges
 - ▭ SLO County Boundary
 - ▭ SLO County Parcels
 - Community Advisory Groups
 - ▭ Community Advisory Group Boundary
 - ▭ Cayucos Citizens Advisory Council Subarea
 - ▭ Creston Advisory Body Sub Areas
 - ▭ Supervisor Districts
 - ▭ SLO County Boundary

Avila Valley Advisory Council

-752.33 0 376.17 752.33 Feet 1: 4,514

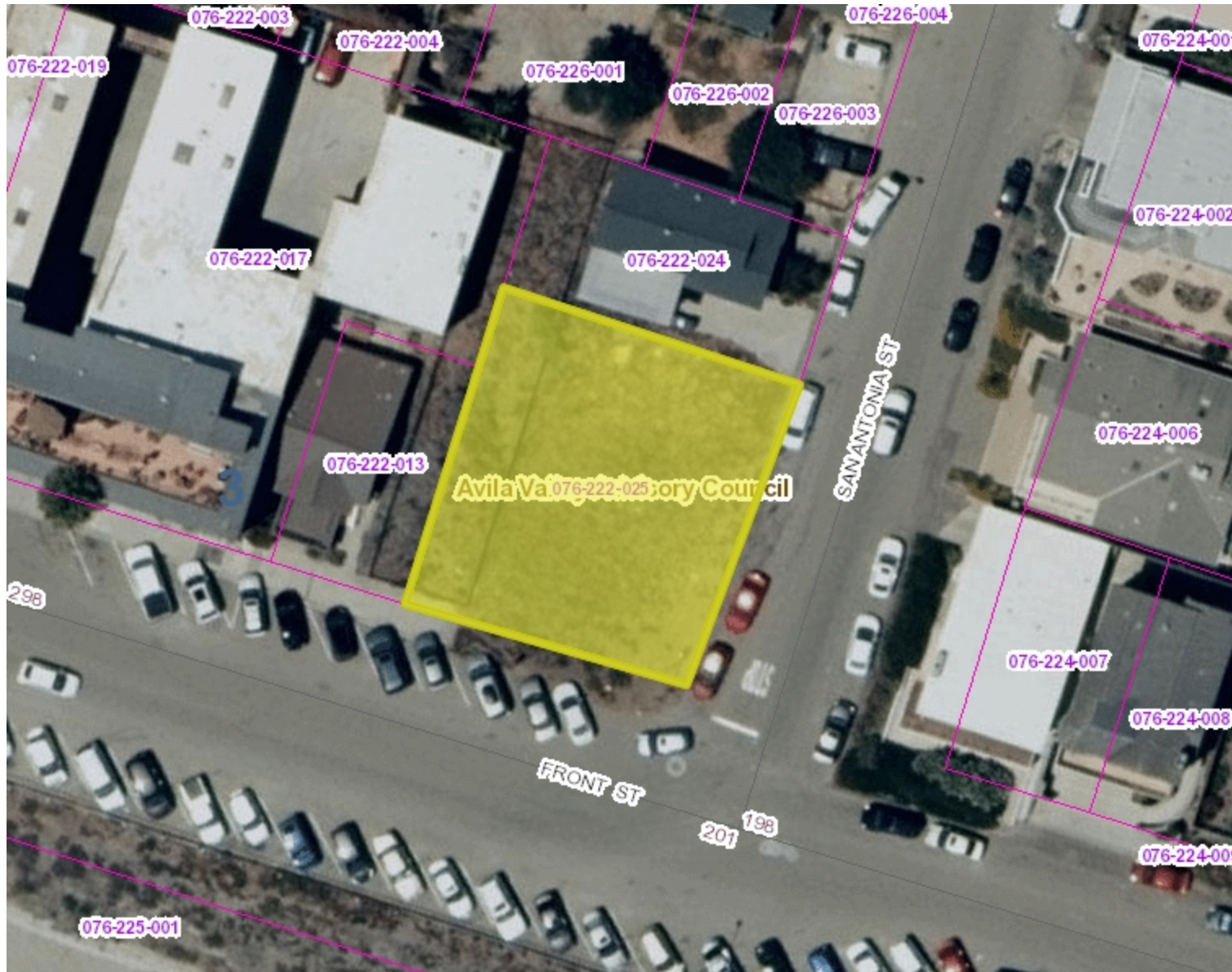


The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only



APN 076-222-025



- ### Legend
-  Roads with address ranges
 -  SLO County Boundary
 -  SLO County Parcels
 - Community Advisory Groups**
 -  Community Advisory Group Boundary
 -  Cayucos Citizens Advisory Council Subarea
 -  Creston Advisory Body Sub Areas
 -  Supervisor Districts
 -  SLO County Boundary

-94.04 0 47.02 94.04 Feet 1: 564



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CHARACTER RENDERING | VIEW FROM FRONT STREET

project directory

OWNER
bill keese + jim keese
 394 tolosa way
 san luis obispo, CA 93405

ARCHITECT
bracket architecture office
 po box 1810
 san luis obispo, ca 93406
 contact: bryan ridley, 805 704 0535

PLANNING
quest planning
 san luis obispo, ca 93401
 contact: megan martin, 559 917 1070

CIVIL
walsh engineering
 1108 garden street
 san luis obispo, ca 93401
 contact: dante pecchenino, 805 319 4948

SURVEYOR
joann head land surveying
 po box 887
 santa margarita, ca 93453
 contact: 805 674 1530

project data

DESCRIPTION
 a request by Jim and Bill Keese for a Development Plan/Coastal Development Permit to allow for the development of two, separate, approximately 1,950 sf single family residential units on a single lot using the 'high intensity factor' (65% maximum floor area and 40% minimum open area; CZLJO Section 23.04.084), and a request to modify the location standards for vacation rentals per the Coastal Zone Land Use Ordinance to allow the proposed residences to be used as two separate residential vacation rentals

SITE INFORMATION
 jurisdiction county of san luis obispo
 land use RMF
 APN 076-222-025
 street address 208 front street
 gross lot size 6,001 sf (0.14 ac)
 lot coverage 2,508 sf (42% proposed, 60% allowed)
 open space 3,326 sf (55% proposed, 40% minimum)

BUILDING INFORMATION
 number of stories 3
 occupancy R-3 (single-family residence) | U (private garage)
 construction type type V B (non-rated)
 sprinklered yes, NFPA13D throughout each structure
 height 25'-0" max above average natural grade

PROPOSED BUILDING AREAS

	residence A	residence B
lower floor:		
garage + storage		684 sf
residence + stairway	871 sf	93 sf
main floor:		
residence	670 sf	927 sf
balcony	150 sf	277 sf
garage	454 sf	
upper floor:		
residence	409 sf	930 sf
balcony		277 sf
open deck	142 sf	
total:		
garage + storage	454 sf	680 sf
residence	1,950 sf	1,950 sf
deck/balcony	292 sf	544 sf
parking spaces	2	2

total floor area:	
allowed	3,901 sf (65.0% of lot)
proposed	3,900 sf (65.0% of lot)

project notes

- all work shall be in conformance with the 2019 editions of the CALIFORNIA BUILDING CODES based on the 2018 IBC, 2018 IRC, 2018 UMC & 2018 UPC & the 2019 edition of the california electrical code based on the 2017 NEC, the 2019 california energy code and the 2019 california green building standards code.
- any + all deferred submittals shall be reviewed by the project architect or engineer prior to submission to the building department for review and approval.
- the adjoining street shall be cleaned by sweeping to remove dirt, dust, mud, and construction debris at the end of each day.
- any existing survey monuments shall be protected in place or shall be tied out by a licensed land surveyor prior to disturbance and then replaced prior to occupancy in accordance with section 8771 of the California Business and Professions Code.
- erosion control measures shall be implemented and maintained to the satisfaction of the building official and public works director during all demolitions, construction and ground disturbing activities.

sheet index

GENERAL
 A0.1 title sheet + project information

CIVIL
 C0.0 civil site + horizontal control plan
 C1.0 grading + drainage plan
 C2.0 utility plan

ARCHITECTURAL
 A1.1 site plan
 A2.1 first floor plan
 A2.2 second floor plan
 A2.3 third floor plan
 A2.4 roof plan
 A3.1 exterior elevations
 A3.2 exterior elevations
 A3.3 exterior elevations
 A3.4 solar study
 A4.1 sections
 A4.2 sections

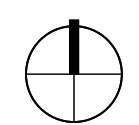
drawing log

SET	ISSUE DATE	REVISION
Development Plan/Coastal Development Plan to the County of San Luis Obispo	21.0120	

separate permits

- Coastal Development Permit
- County of San Luis Obispo Construction Permit

vicinity map



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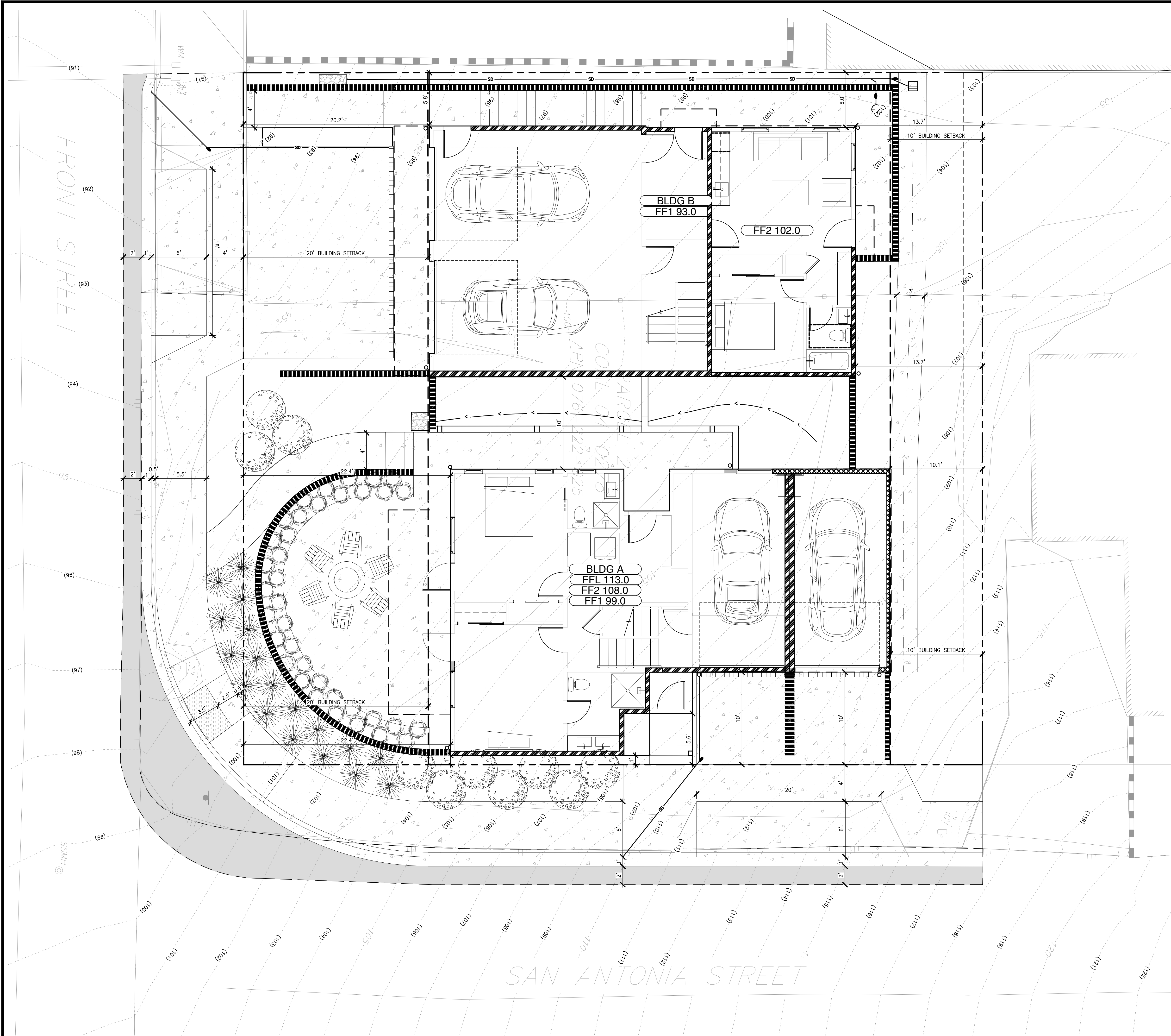


KEESE RESIDENCES
 208 front street
 avila beach, ca 93424

project AQ251
 print 21.0120
 revision

title sheet +
 project information
A0.1

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GENERAL LEGEND

- EXISTING/PROPOSED CENTERLINE (E)
- EXISTING PROPERTY LINE (EX. P)
- PROPOSED PROPERTY LINE (P)
- PROPOSED SETBACK LINE
- EXISTING/PROPOSED EASEMENT
- PROPOSED SAWCUT
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- RAISED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.

GRADING LEGEND

- SB --- RIDGE --- HINGE. GRADE BREAK
- CUT
- FILL
- DAYLIGHT OF GRADING LIMITS (CUT/FILL LINE)
- LIMIT OF DISTURBANCE
- SWALE
- 100 CONTOUR MAJOR
- 99 CONTOUR MINOR
- TOP OF SLOPE
- TOE OF SLOPE
- OVERLAND RELEASE PATH

STORM DRAIN LEGEND:

- 50LF12"SD00.5% --- STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
- PROPOSED SLOT/TRENCH DRAIN
- PROPOSED BIO RETENTION BASIN
- ENERGY DISSIPATOR
- HEADWALL/ENDWALL
- FLARED END SECTION
- DROP INLET
- MANHOLE
- CLEANOUT

SHEET INDEX

- C0.0 - CIVIL SITE & HORIZONTAL CONTROL PLAN
- C1.0 - GRADING & DRAINAGE PLAN
- C2.0 - UTILITY PLAN

NO.	DATE	REVISIONS

WALSH ENGINEERING
 WALSHENGINEERING.NET (805) 319-4948
 1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

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DESIGNED BY: SSB
 CHECKED BY: DAP
 APPROVED BY: KDG
 DATE: 01/08/2021

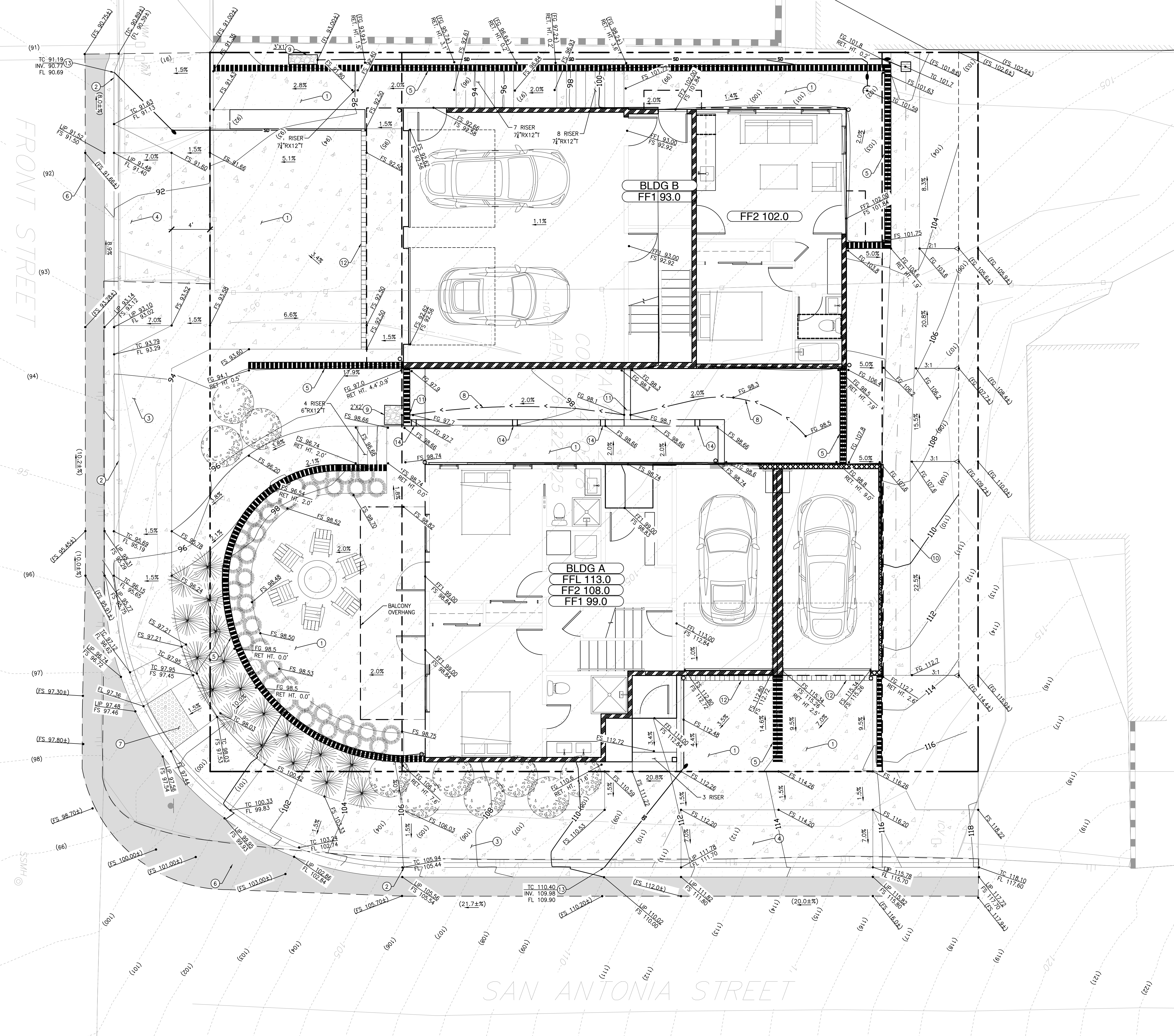
CIVIL SITE & HORIZONTAL CONTROL PLAN

C0.0

811
 Know what's below. Call 811 before you dig.

NOTE: UTILITIES SHOWN WERE PLOTTED FROM OBSERVED EVIDENCE AND PLANS OBTAINED FROM UTILITY PROVIDERS. EXACT LOCATIONS AND QUANTITIES MAY VARY. THE CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATING SERVICES PRIOR TO EXCAVATION AND USE EXTREME CAUTION WHEN EXPOSING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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- TOE OF SLOPE
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- 50LF12"SD00.5% --- STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
- PROPOSED SLOT/TRENCH DRAIN
- PROPOSED BIO RETENTION BASIN
- ENERGY DISSIPATOR
- HEADWALL/ENDWALL
- FLARED END SECTION
- DROP INLET
- MANHOLE
- CLEANOUT

GRADING KEY NOTES:

- 1 PROPOSED CONCRETE PAVEMENT SECTION
- 2 PROPOSED 6" CURB AND GUTTER PER COUNTY STANDARD
- 3 PROPOSED SIDEWALK PER COUNTY STANDARD
- 4 PROPOSED DRIVEWAY APPROACH PER COUNTY STANDARD
- 5 PROPOSED RETAINING WALL. RETAINED HEIGHT PER PLAN.
- 6 SAWCUT AND PAVEOUT
- 7 PROPOSED CALTRANS CURB RAMP DETAILS, ABBA, TYPE C
- 8 PROPOSED VEGETATED OR ROCK LINED SWALE
- 9 PROPOSED ROCK SLOPE ENERGY DISSIPATOR. LENGTH AND WIDTH PER PLAN.
- 10 PROPOSED CONCRETE V-DITCH
- 11 PROPOSED SLOTTED CURB
- 12 PROPOSED TRENCH DRAIN
- 13 PROPOSED CURB THRU DRAIN
- 14 PROPOSED WEEP HOLES

GRADING QUANTITIES, DISTURBANCE & SLOPE

A. ESTIMATED EARTHWORK QUANTITIES:
 CUT 635 CY FILL 110 CY NET 525 CY (CUT)
 MAX CUT DEPTH = 9.5' +/-
 MAX FILL DEPTH = 10.2' +/-

NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE ARE FOR PERMIT PURPOSES ONLY. AFTER EXAMINING THE GRADING PLAN, SOILS REPORT AND TERRAIN, PREPARE HIS/HER ESTIMATE INDEPENDENTLY OF THE ENGINEER'S ESTIMATE.

B. AREA OF DISTURBANCE: 6,000 SF (0.14 ACRES)

NOTE: INCLUDES DRIVEWAY IMPROVEMENTS, BUILDING AND STRUCTURES, UTILITIES, STOCKPILE AREAS, CONCRETE WASH OUT, STAGING AREA, DEMOLITION AREA, AND MATERIAL AND WASTED STORAGE AREAS.

C. AVERAGE EXISTING SLOPE WITHIN GRADING LIMITS: 22.9%

NO.	DATE	REVISIONS

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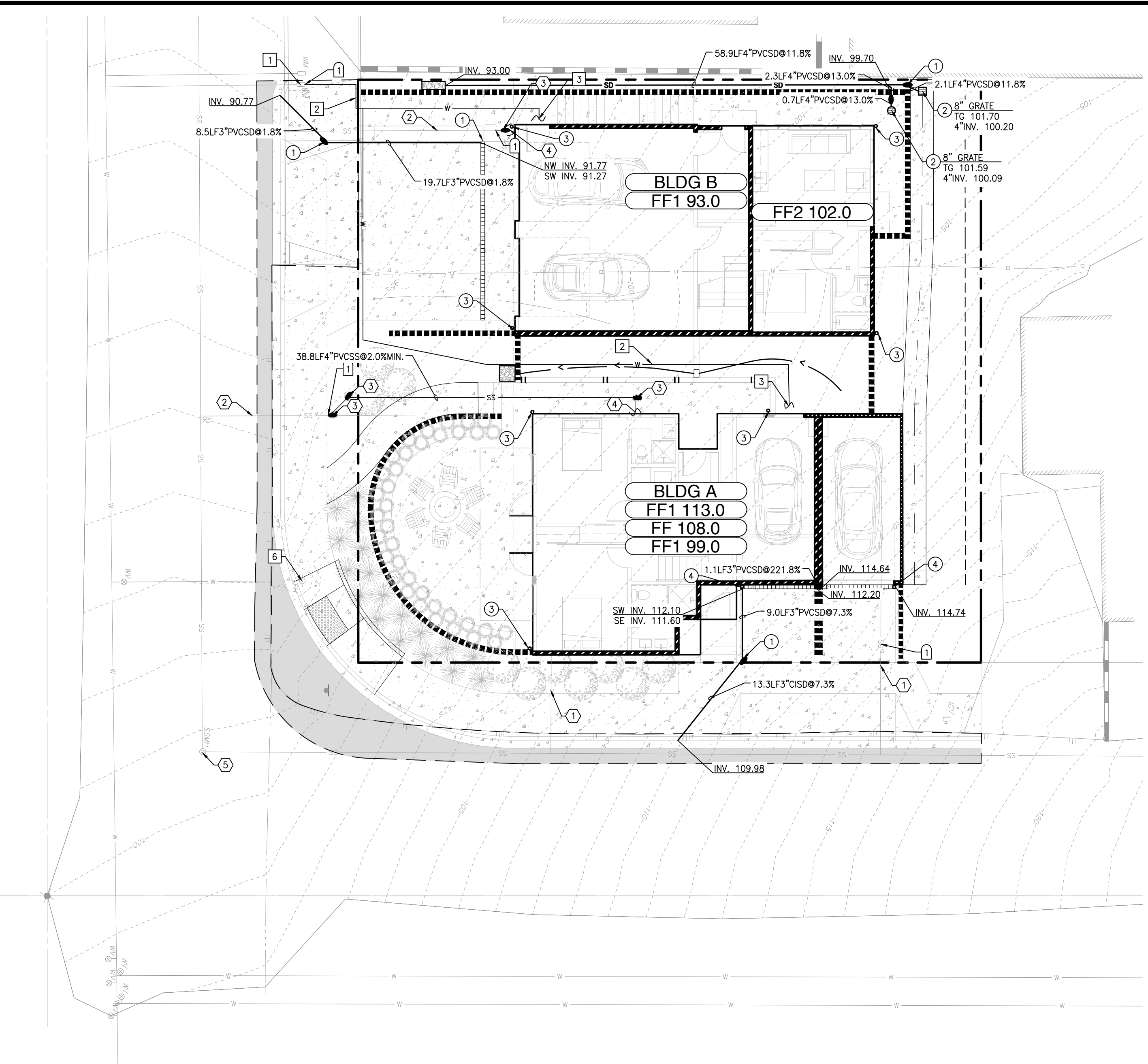


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 CHECKED BY: DAP
 APPROVED BY: KDG
 DATE: 01/08/2021

GRADING & DRAINAGE PLAN

Sheet **C1.0**

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WATER KEY NOTES

- 1 PROPOSED METER MANHOLE WITH TWO METERS TOTAL, ONE TO SERVE EACH HOUSE. SIZE TO BE PROVIDED BY FIRE SPRINKLER DESIGN. PLACE METERS IN EXISTING METER BOX.
- 2 PROPOSED 2" WATER LINE TO PROVIDE DOMESTIC AND FIRE SERVICES. PROVIDE REDUCER FITTING ON PRIVATE SIDE OF METER TO CONVERT TO 2" LINE. FIRE SPRINKLER DESIGNER TO CONFIRM SIZING. NOTIFY ENGINEER OF ANY NECESSARY REVISIONS.
- 3 PROPOSED POINT OF CONNECTION TO PROPOSED BUILDING. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION WITHIN 5.0' OF BUILDING.
- 4 EXISTING FIRE HYDRANT TO REMAIN. ADJUST TO GRADE AS NECESSARY.

STORM DRAIN KEY NOTES:

- 1 PROPOSED STORM DRAIN CLEANOUT WITH COVER TO GRADE.
- 2 PROPOSED STORM DRAIN INLET. GRATE SIZE PER PLAN.
- 3 PROPOSED ROOF DOWNSPOUT. DISCHARGE TO ADJACENT SURFACE IN NON-EROSIVE MANNER. FOR LANDSCAPED AREAS, PROVIDE SPLASH BLOCK.
- 4 PROPOSED ROOF DOWNSPOUT. TIE DIRECTLY INTO TRENCH DRAIN.

SANITARY SEWER KEY NOTES

- 1 REMOVE AND ABANDON EXISTING SEWER LATERAL, AS NECESSARY.
- 2 PROPOSED POINT OF CONNECTION TO EXISTING 4" SEWER LATERAL. CONNECT WITH WATER TIGHT SEAL.
- 3 PROPOSED SEWER CLEANOUT WITH COVER TO GRADE.
- 4 PROPOSED POINT OF CONNECTION TO PROPOSED BUILDING. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION WITHIN 5.0' OF BUILDING, INCLUDING CLEANOUT AT FACE OF BUILDING.
- 5 EXISTING SEWER MANHOLE.

UTILITY GENERAL NOTES

- 1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL INVERTS OF EXISTING UTILITIES AT POINTS OF CONNECTION AND PROPOSED UTILITY CROSSINGS BY OBSERVATION OR POTHOLING METHODS. NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES IN THESE PLANS AND ACTUAL FIELD INFORMATION.
- 2. FOR ON-SITE DRY UTILITIES ROUTING, SEE HANDOUT PACKAGES PROVIDED BY UTILITY PURVEYORS.

CAUTIONARY KEY NOTES

- 1 THE EXACT UTILITY INVERT AND LOCATION IS UNKNOWN DURING PREPARATION OF THIS PLAN. THE CONTRACTOR SHALL POTHOLE AND VERIFY PRIOR TO ORDERING MATERIALS. CONTRACTOR TO PROVIDE ENGINEER WITH POTHOLE INFORMATION 30 DAYS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS TO ALLOW ADEQUATE TIME FOR REVISIONS TO PLANS.

EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON TOPO DATA PROVIDED BY THE SURVEYOR AND AS-BUILT ATLAS'S ACQUIRED FROM AVILA BEACH COMMUNITY SERVICES DISTRICT. CONTRACTOR SHALL POTHOLE AND VERIFY EXISTING UTILITY INVERT AND LOCATION PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS. PROVIDE ENGINEER WITH POTHOLE INFORMATION 30 DAYS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS TO ALLOW ADEQUATE TIME FOR REVISIONS TO PLANS.

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STORM DRAIN LEGEND:

- 50LF12"SD@0.5%--- STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
- PROPOSED SLOT/TRENCH DRAIN
- PROPOSED BIO RETENTION BASIN
- ENERGY DISSIPATOR
- HEADWALL/ENDWALL
- FLARED END SECTION
- DROP INLET
- MANHOLE
- CLEANOUT

SANITARY SEWER LEGEND:

- 75LF6"SS@2.0%--- SANITARY SEWER PIPE LENGTH, SIZE AND SLOPE (SS)
- SANITARY SEWER MANHOLE (SSMH)
- SANITARY SEWER CLEANOUT TO GRADE (SSCO)
- SANITARY SEWER BACKWATER VALVE

WATER LEGEND:

- 6"DW--- DOMESTIC WATER SERVICE AND SIZE (DW)
- 8"FW--- FIRE WATER SERVICE AND SIZE (FW)
- GATE VALVE
- FIRE HYDRANT (FH)
- POST INDICATOR VALVE (PIV)
- FIRE DEPARTMENT CONNECTION (FDC)
- BACKFLOW DEVICE FOR FIRE SERVICE (RPZ OR DDC)
- BACKFLOW DEVICE FOR DOMESTIC SERVICE (RPZ)
- DOMESTIC WATER METER
- IRRIGATION METER (DESIGN BY OTHERS)
- THRUST BLOCK PER COUNTY STANDARDS.

DRY UTILITY LEGEND:

- DRY UTILITY SERVICE
- PROPOSED PULL BOX
- PROPOSED STREET LIGHT
- PROPOSED SITE LIGHT

NO.	DATE	REVISIONS

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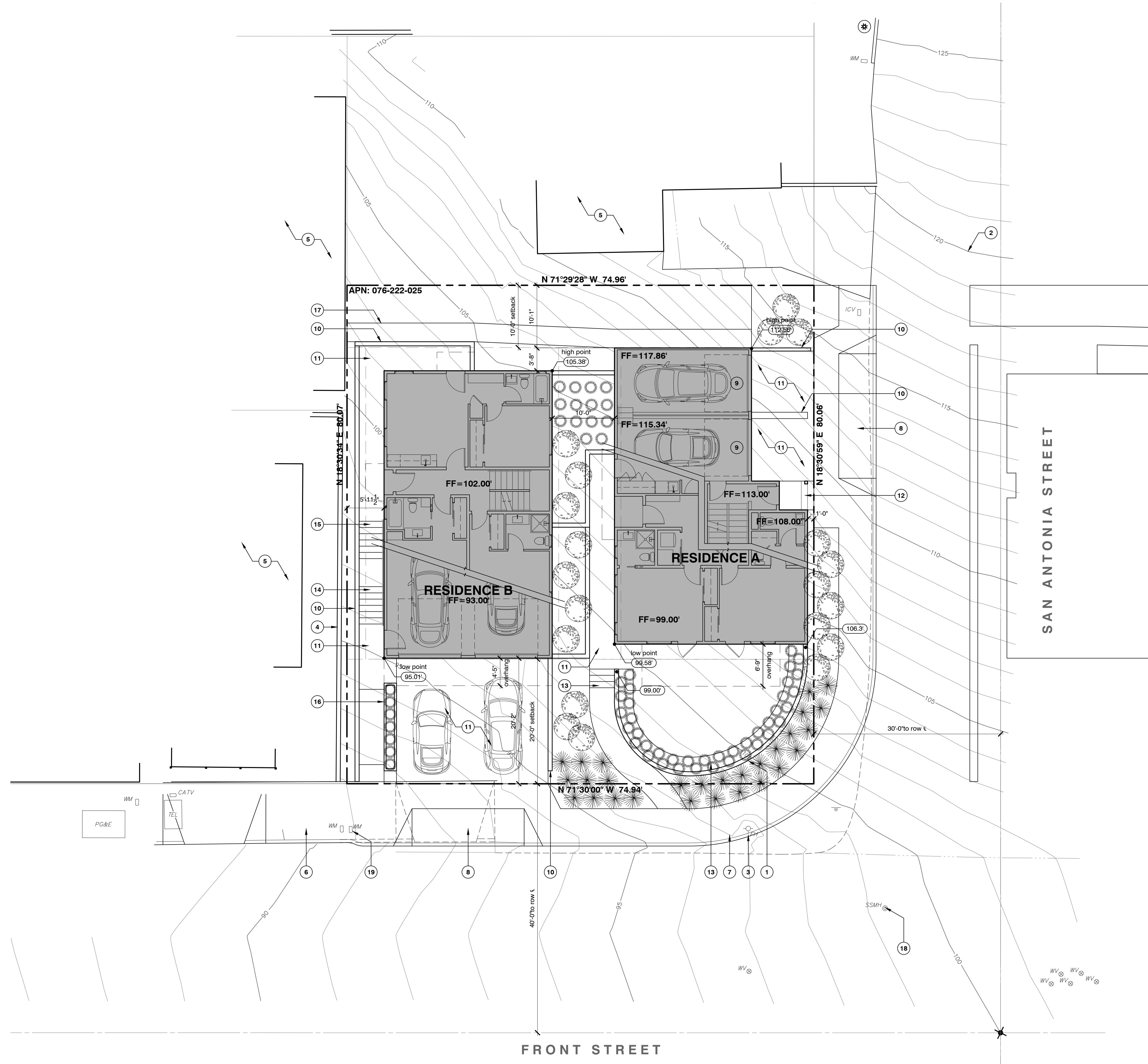


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 CHECKED BY: DAP
 APPROVED BY: KDG
 DATE: 01/08/2021

UTILITY PLAN

SHEET
C2.0

811
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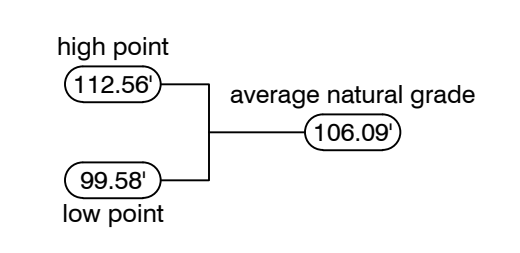
site plan notes

- # reference note callout
- 1. site wall: cast-in-place concrete, height varies evenly from 106.3' to 99.0', wall retains finish grade from sidewalk improvements in right of way, refer to elevation 11A3.1
- 2. (e) topographic contours shown for reference, see civil drawings for grading + drainage
- 3. (e) fire hydrant
- 4. (e) retaining wall on adjacent property
- 5. (e) structure on adjacent property
- 6. (e) 6" concrete curb to remain
- 7. curb, gutter + sidewalk, see civil drawings
- 8. concrete driveway see civil drawings
- 9. slope garage floor surface 1% to vehicular opening
- 10. retaining wall: cast-in-place concrete, see civil drawings
- 11. concrete flatwork, see civil
- 12. concrete steps, provide (2) riser | (1) treads
- 13. concrete steps, provide (4) riser | (3) treads
- 14. concrete steps, provide (7) riser | (6) treads
- 15. concrete steps, provide (7) riser | (6) treads
- 16. planter
- 17. concrete swale, see civil drawings
- 18. utility: sewer manhole, see civil drawings
- 19. utility: water, see civil drawings

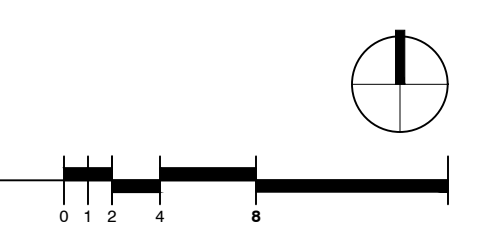
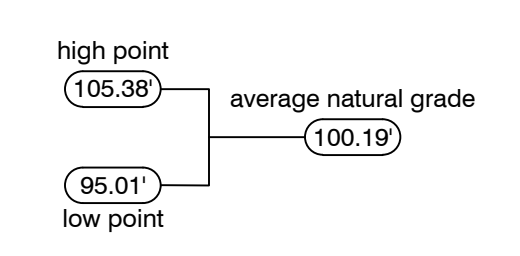
landscape legend

- drought tolerant shrubs
- drought tolerant grasses
- drought tolerant ornamentals

natural grade calculation | residence A



natural grade calculation | residence B



floor plan notes

reference note callout

1. line of front setback
2. line of balcony or awning above
3. line of building footprint above
4. unconditioned | non-habitable space
5. trellis below
6. roof
7. guard
8. exposed wood post
9. single riser transition from garage to residence

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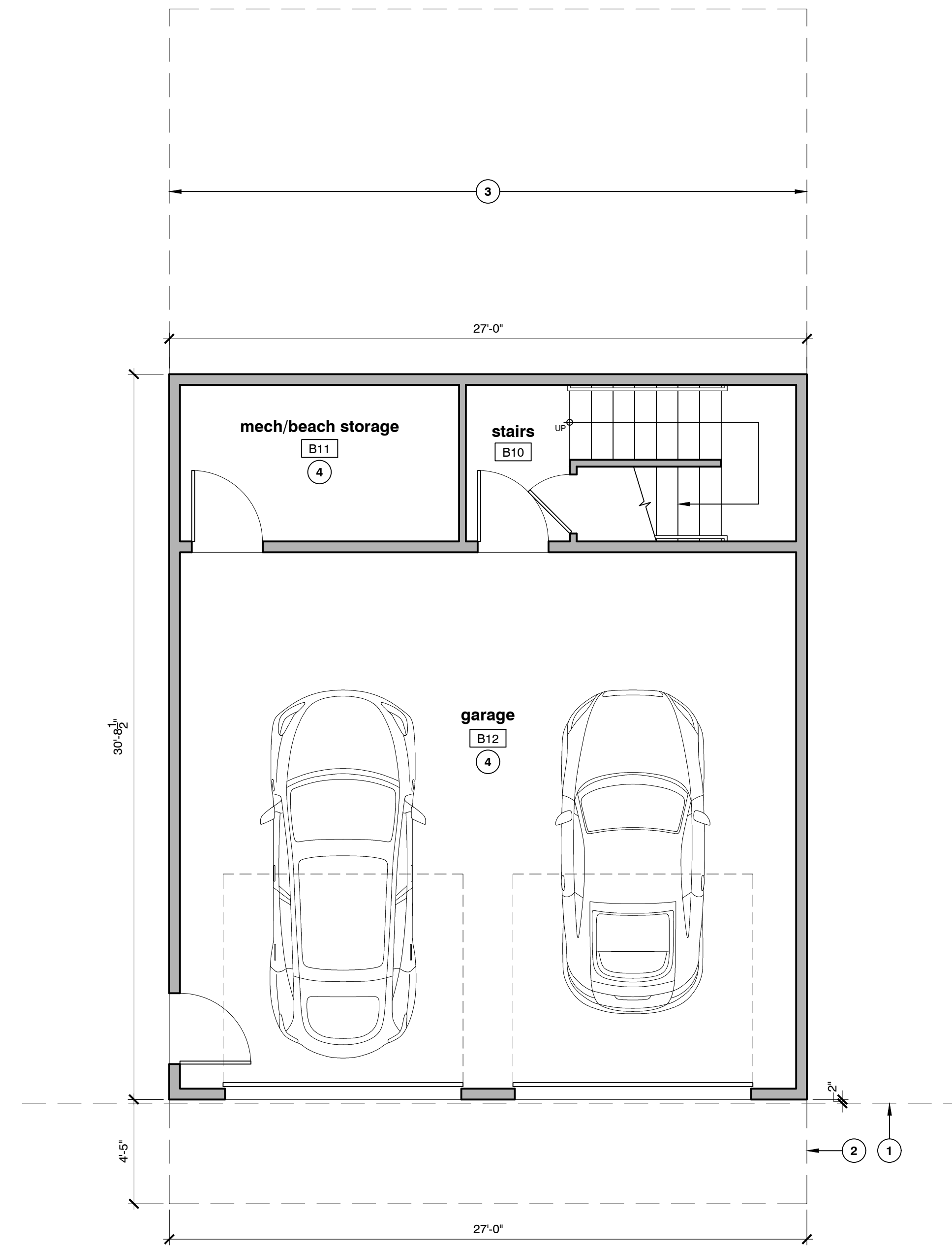
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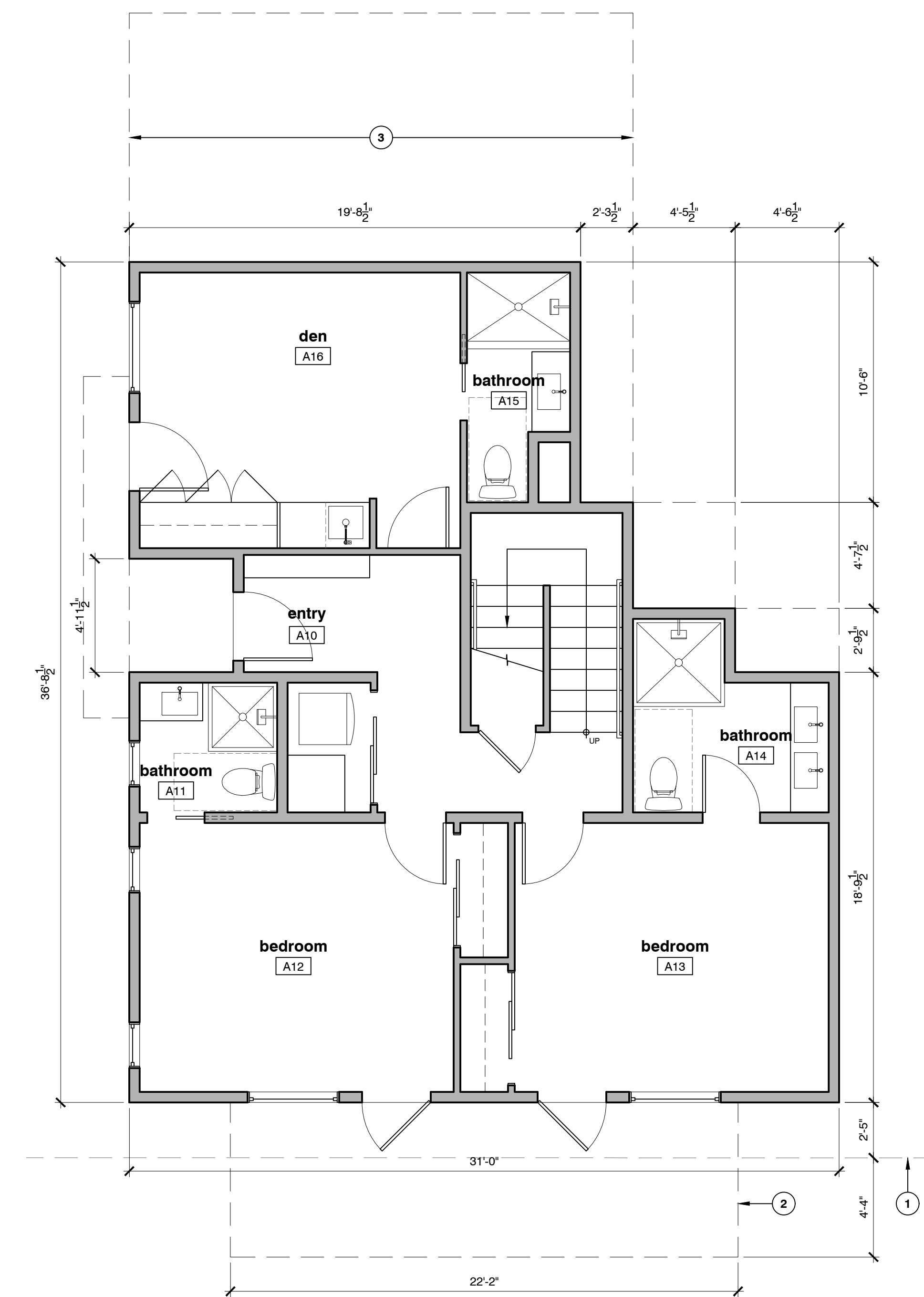
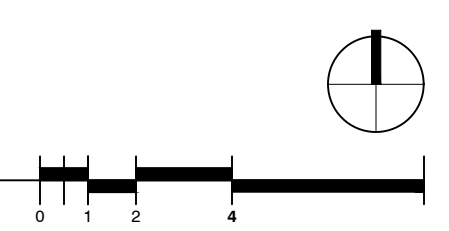
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 RESIDENCES**
 208 front street
 avila beach, ca 93424

project AQ251
 print: 21.01.20
 revision

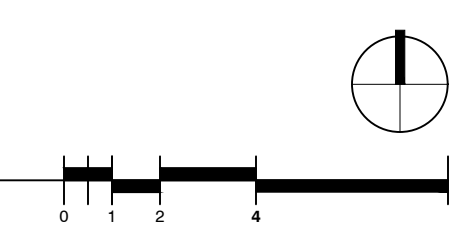
first floor plans
A2.1



B1 first floor plan
 SCALE: 1/4" = 1'-0"



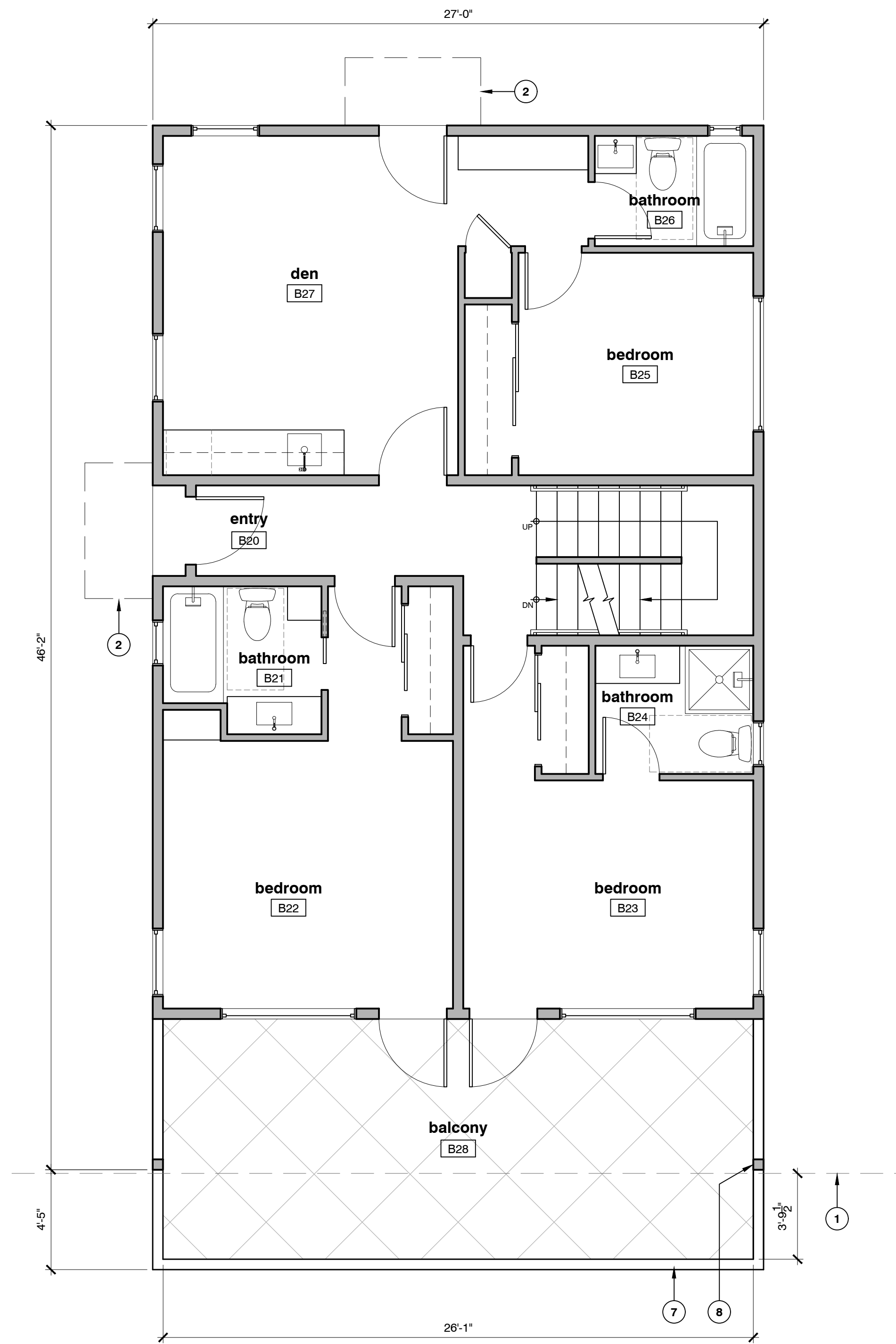
A1 first floor plan
 SCALE: 1/4" = 1'-0"



floor plan notes

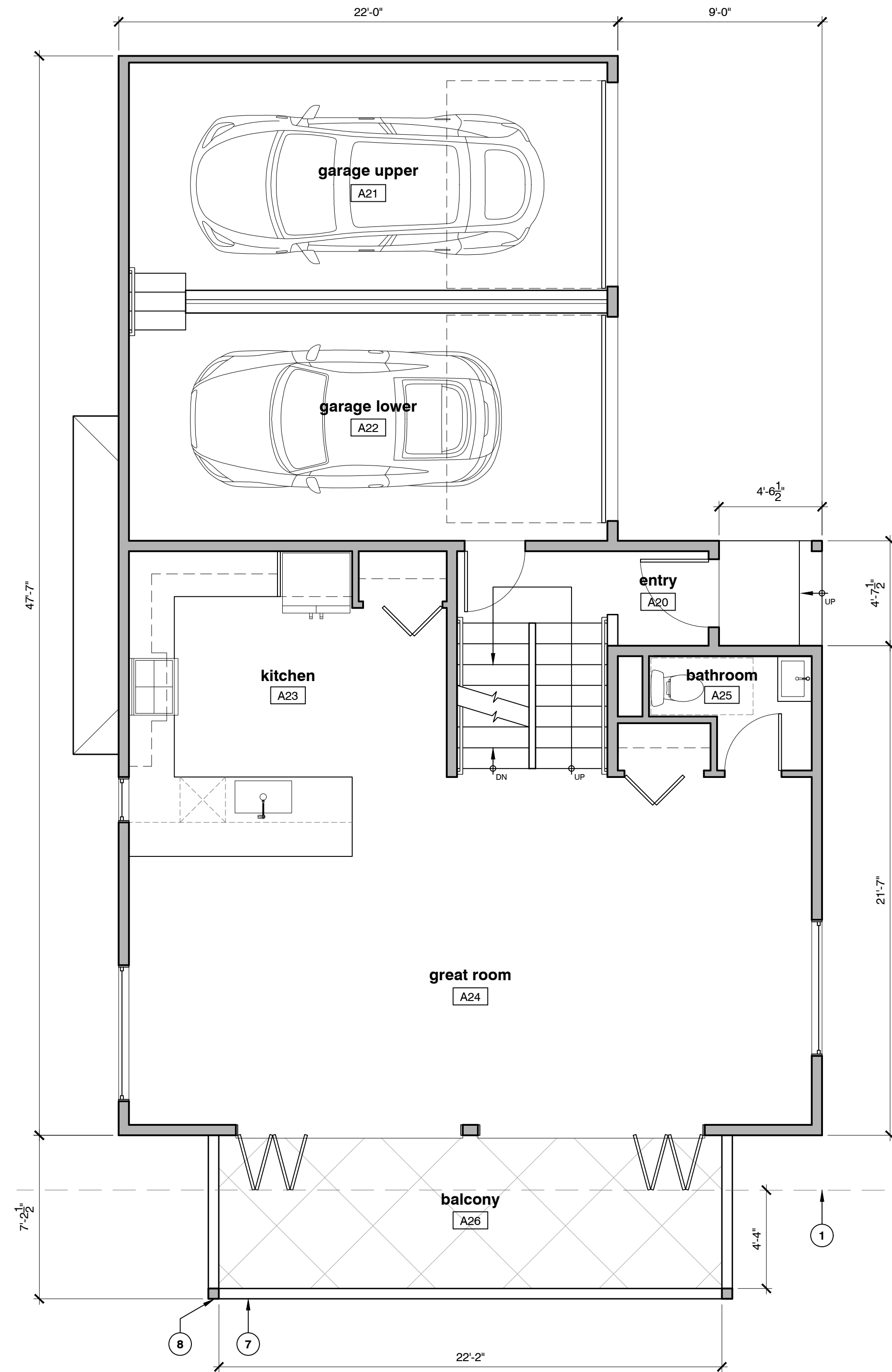
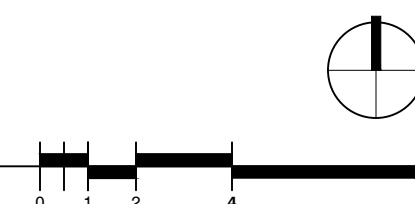
reference note callout

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9. single riser transition from garage to residence



B2 second floor plan

SCALE: 1/4" = 1'-0"



A2 second floor plan

SCALE: 1/4" = 1'-0"



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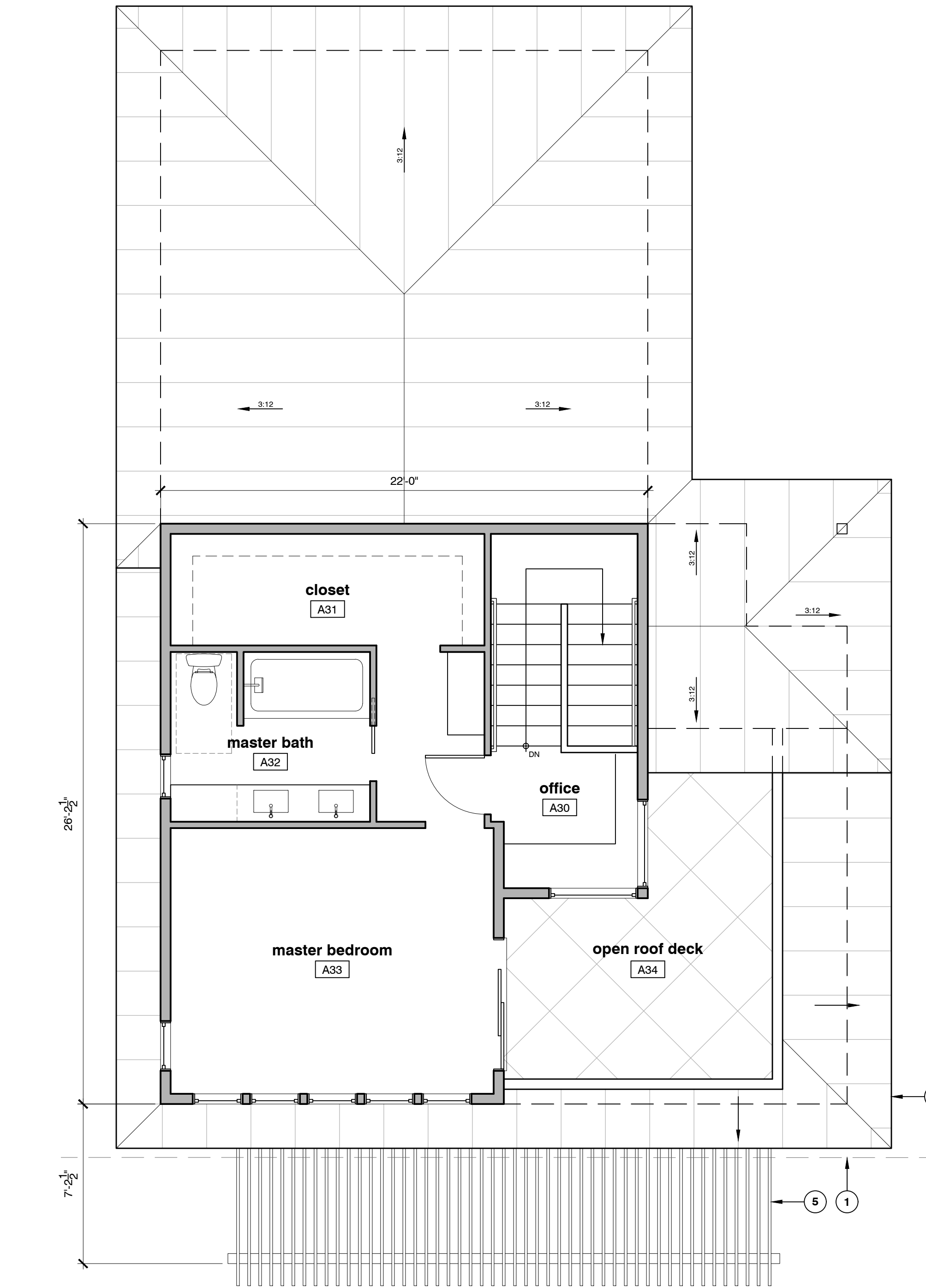
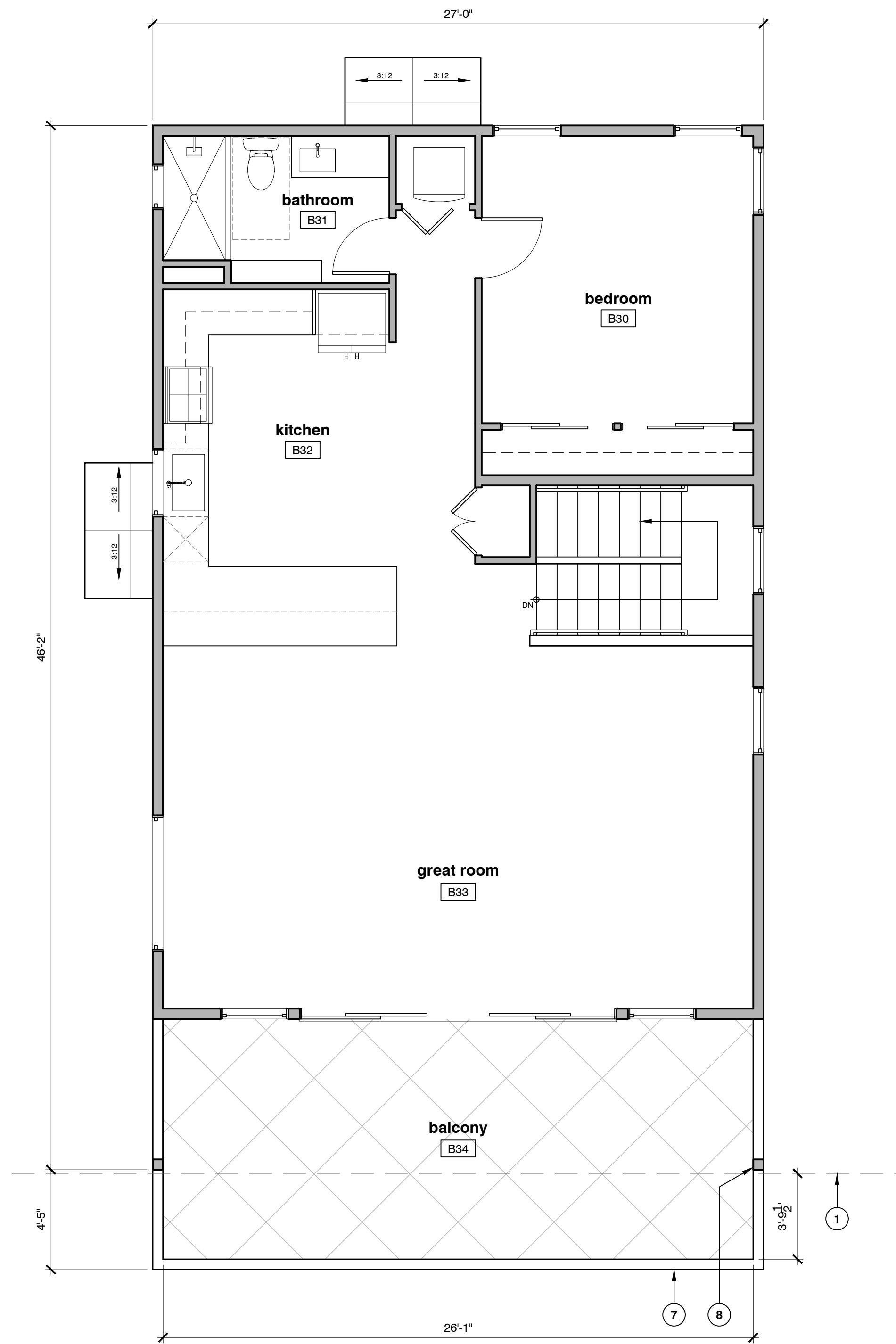
project AQ251
 print: 21.01.20
 revision

second floor plan
A2.2

floor plan notes

reference note callout

1. line of front setback
2. line of balcony or awning above
3. line of building footprint above
4. unconditioned | non-habitable space
5. trellis below
6. roof
7. guard
8. exposed wood post
9. single riser transition from garage to residence



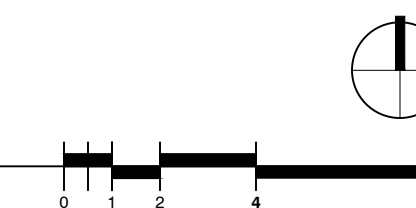
B3 third floor plan

SCALE: 1/4" = 1'-0"



A3 third floor plan

SCALE: 1/4" = 1'-0"



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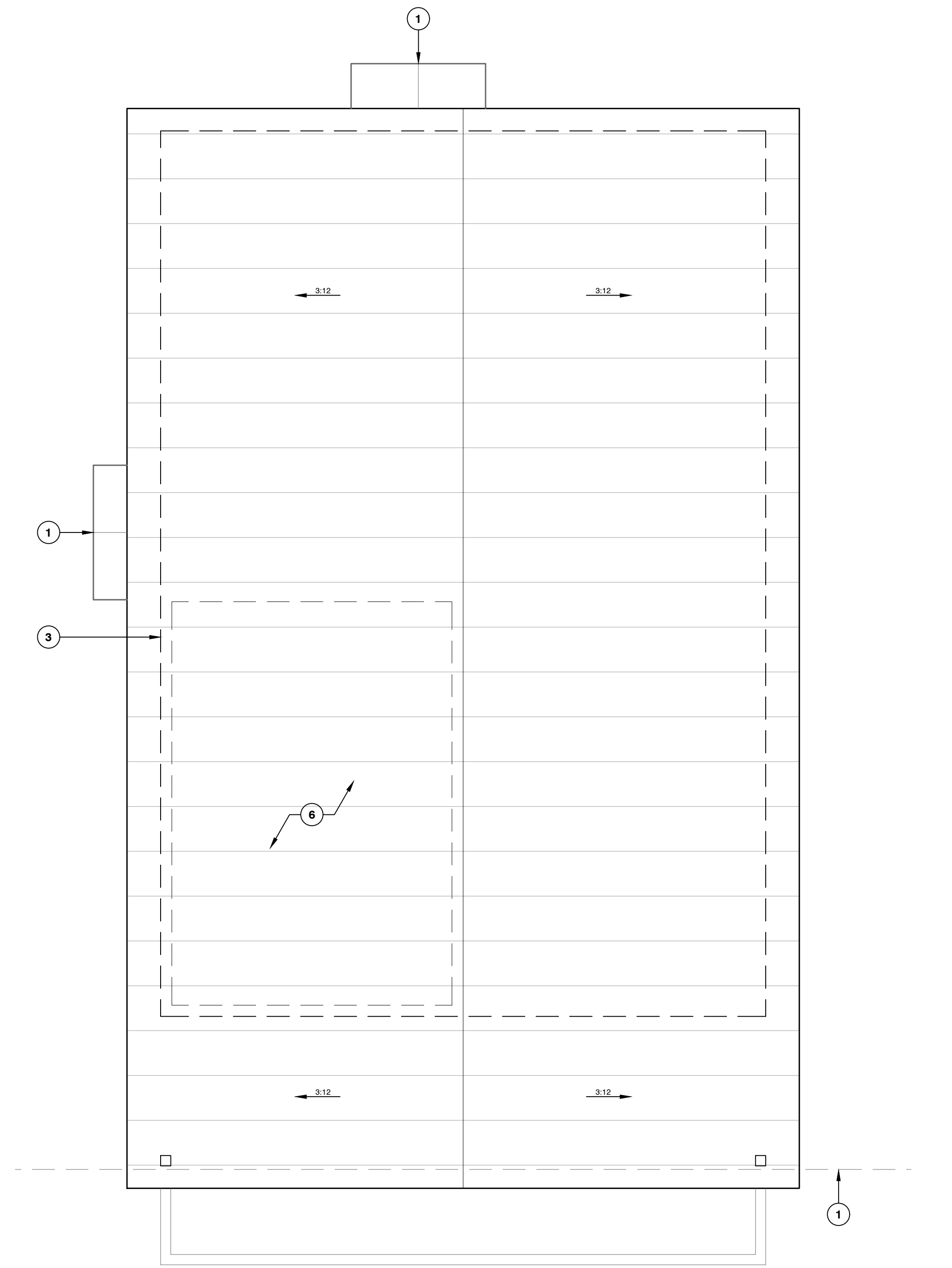
KEESE RESIDENCES
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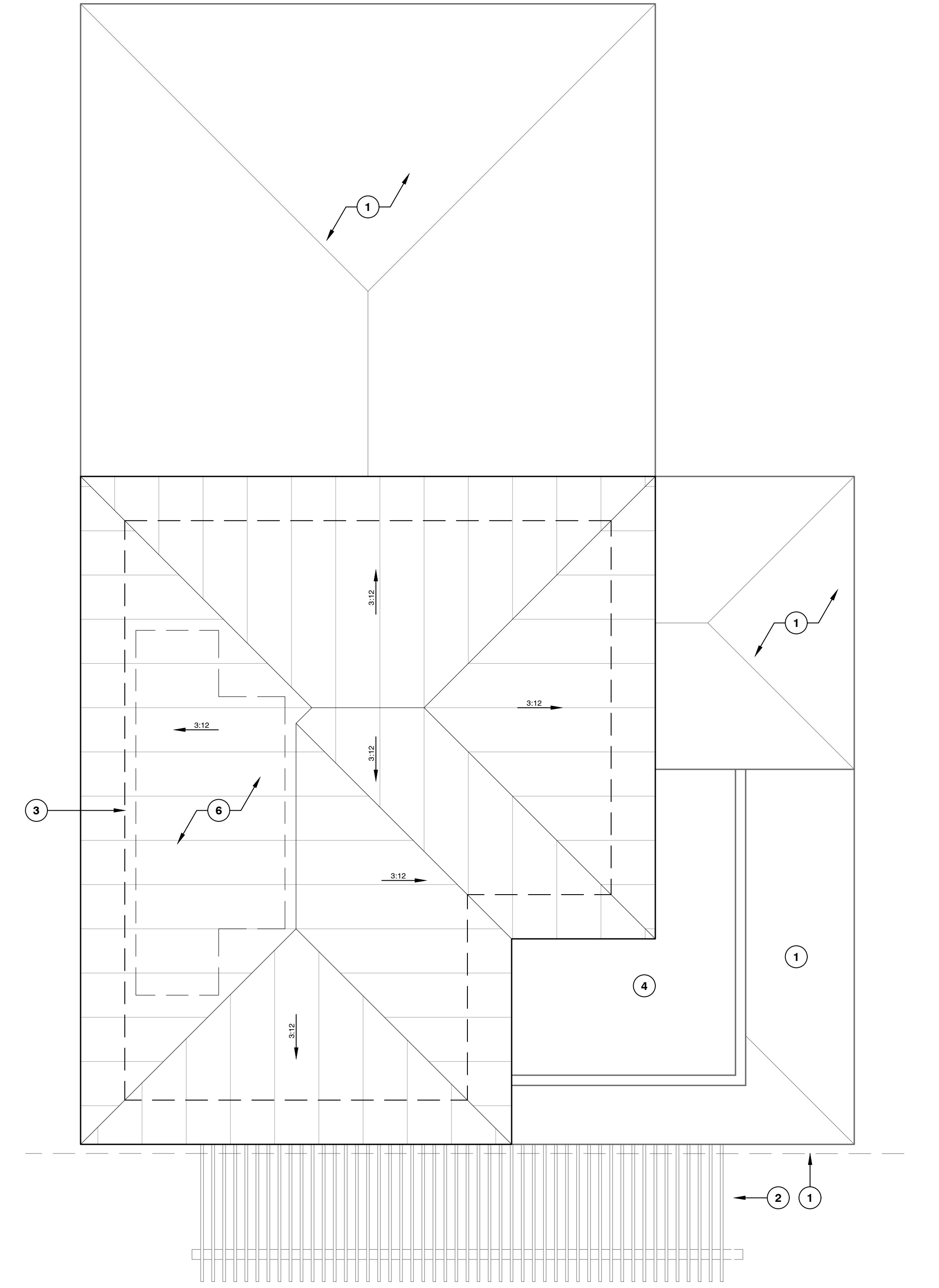
third floor plans
A2.3

roof plan notes

- # reference note callout
- 1. roof or awning below
- 2. trellis below
- 3. line of building below
- 4. deck below
- 5. line of front setback
- 6. photovoltaic panel area to meet california energy code net zero requirements



B4 roof plan
SCALE: 1/4" = 1'-0"



A4 roof plan
SCALE: 1/4" = 1'-0"

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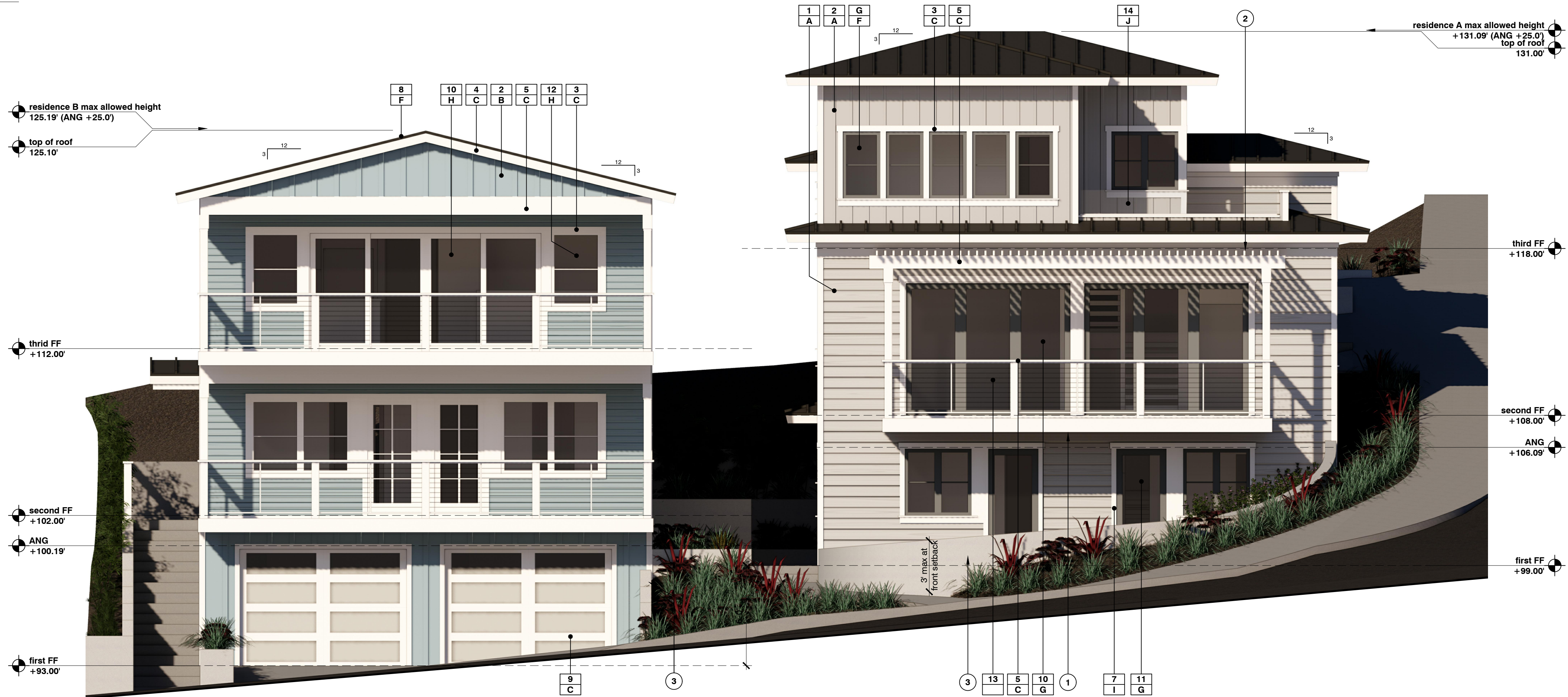
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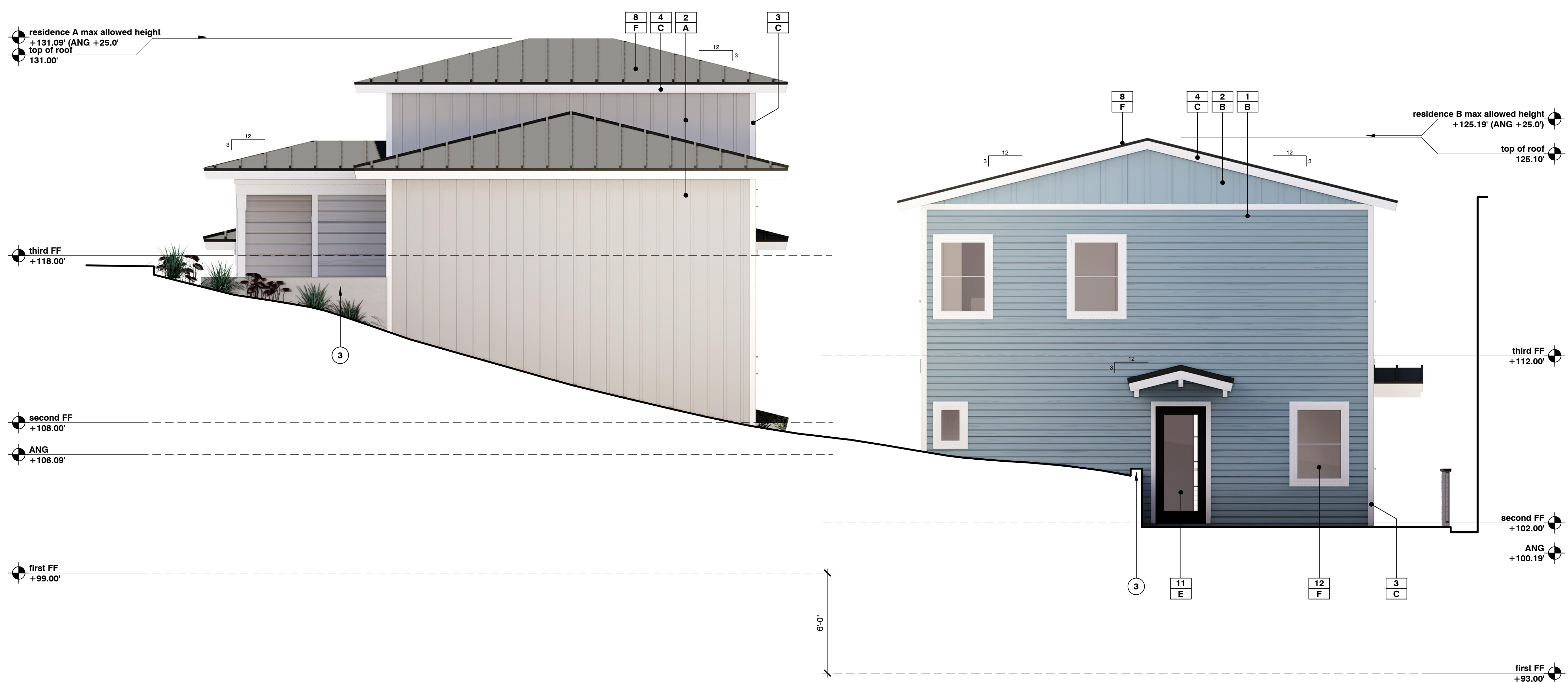
project AQ251
print: 21.01.20
revision

roof plan
A2.4



01 site south elevation | front street

SCALE: 1/4" = 1'-0"



02 site north elevation

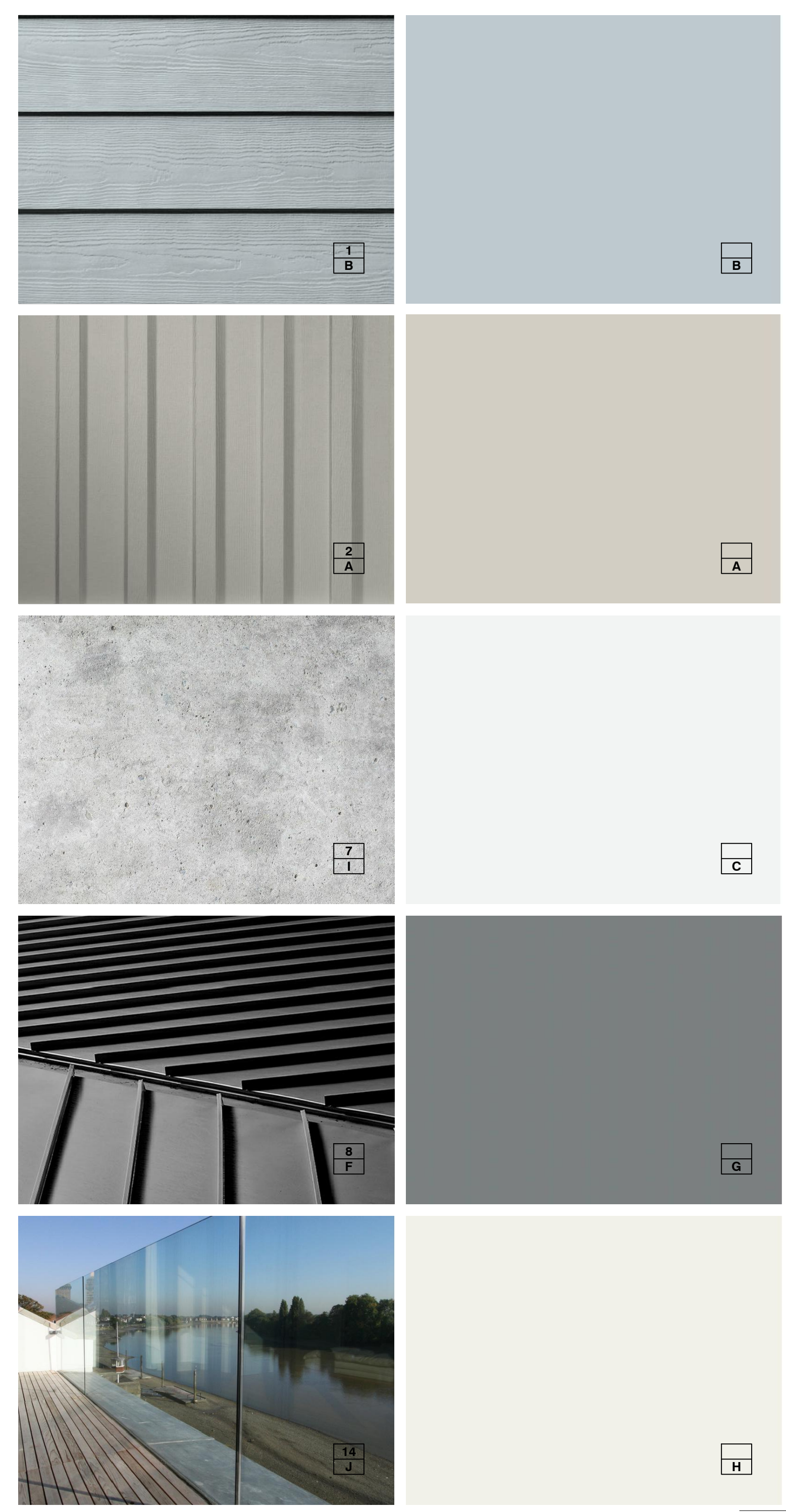
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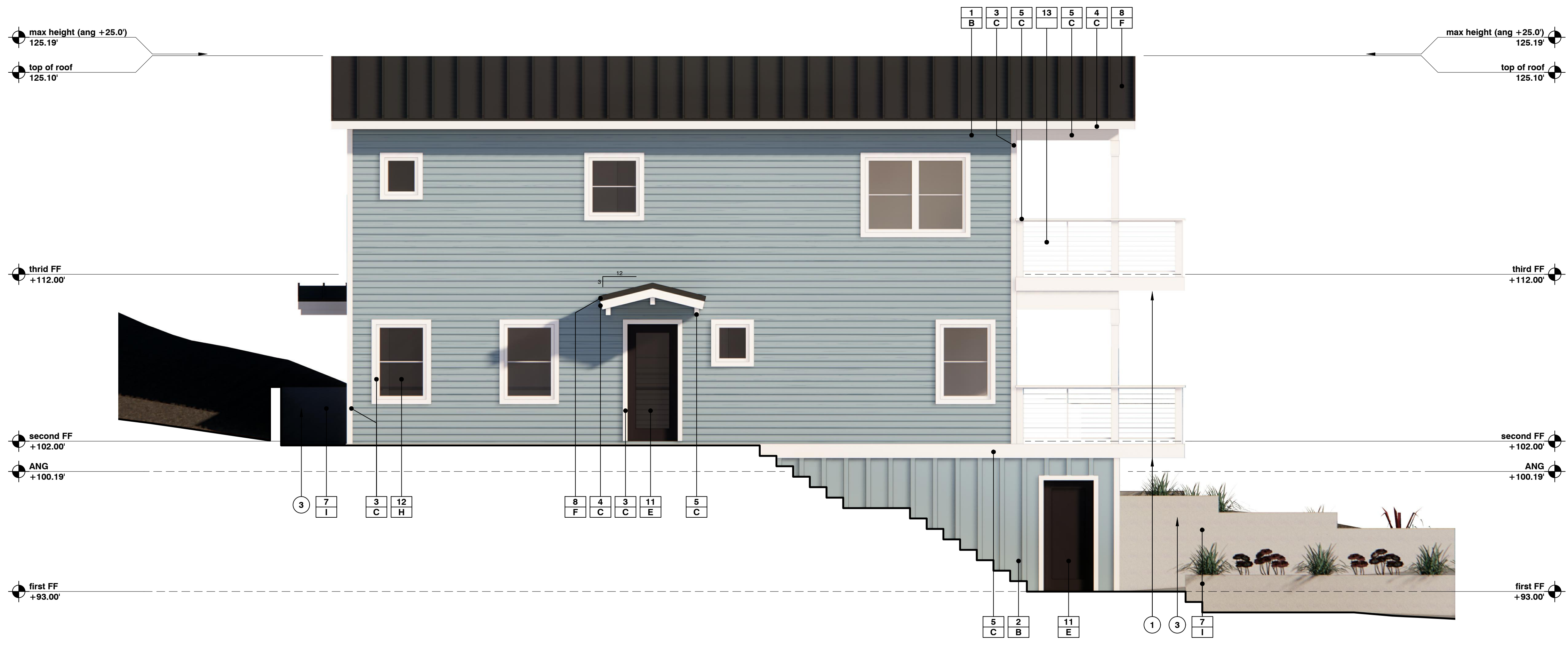
elevation notes

- # reference note callout
- 1. balcony
- 2. trellis
- 3. site wall

materials + colors

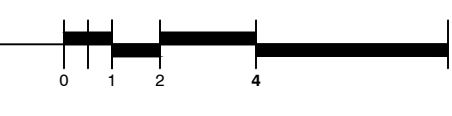
- | | |
|---|---|
| 1 material | A paint = light warm gray DEC 786 'miners dust' |
| 2 color/finish | B paint = pale slate blue DE 6331 'bay of hope' |
| 1. fiber cement siding, horizontal shiplap | C paint = rich white DEW 385 'lighthouse' |
| 2. fiber cement siding, board and 1x batten, 16" o.c. | D. paint = accent |
| 3. fiber cement siding, trim | E. paint = accent |
| 4. fascia | F. manufacturer's factory finish dark bronze |
| 5. timber elements | G. manufacturer's factory finish 'cadet gray' |
| 6. wall sconce | H. manufacturer's factory finish 'stone white' |
| 7. cast-in-place concrete | I. natural pigmentation |
| 8. standing seam sheet metal roof | J. clear |
| 9. door, garage | |
| 10. door, patio slider or paired french | |
| 11. door, hinged | |
| 12. window | |
| 13. steel cable rail | |
| 14. tempered glass rail | |





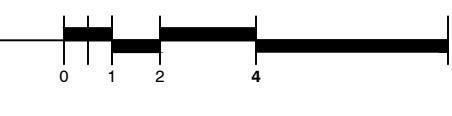
01 residence B west elevation

SCALE: 1/4" = 1'-0"



02 residence A west elevation

SCALE: 1/4" = 1'-0"



elevation notes

- # reference note callout
1. balcony
 2. trellis
 3. site wall

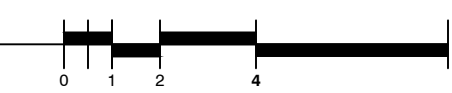
materials + colors

- | | |
|---|--|
| 1 material | A. paint = light warm gray DEC 786 'miners dust' |
| 2 color/finish | B. paint = pale slate blue DE 6331 'bay of hope' |
| 1. fiber cement siding, horizontal shiplap | C. paint = rich white DEW 385 'lighthouse' |
| 2. fiber cement siding, board and 1x batten, 16" o.c. | D. paint = accent |
| 3. fiber cement siding, trim | E. paint = accent |
| 4. fascia | F. manufacturer's factory finish |
| 5. timber elements | G. manufacturer's factory finish |
| 6. wall sconce | H. manufacturer's factory finish |
| 7. cast-in-place concrete | I. natural pigmentation |
| 8. standing seam sheet metal roof | J. clear |
| 9. door, garage | |
| 10. door, patio slider or paired french | |
| 11. door, hinged | |
| 12. window | |
| 13. steel cable rail | |
| 14. tempered glass rail | |



01 residence B east elevation

SCALE: 1/4" = 1'-0"



elevation notes

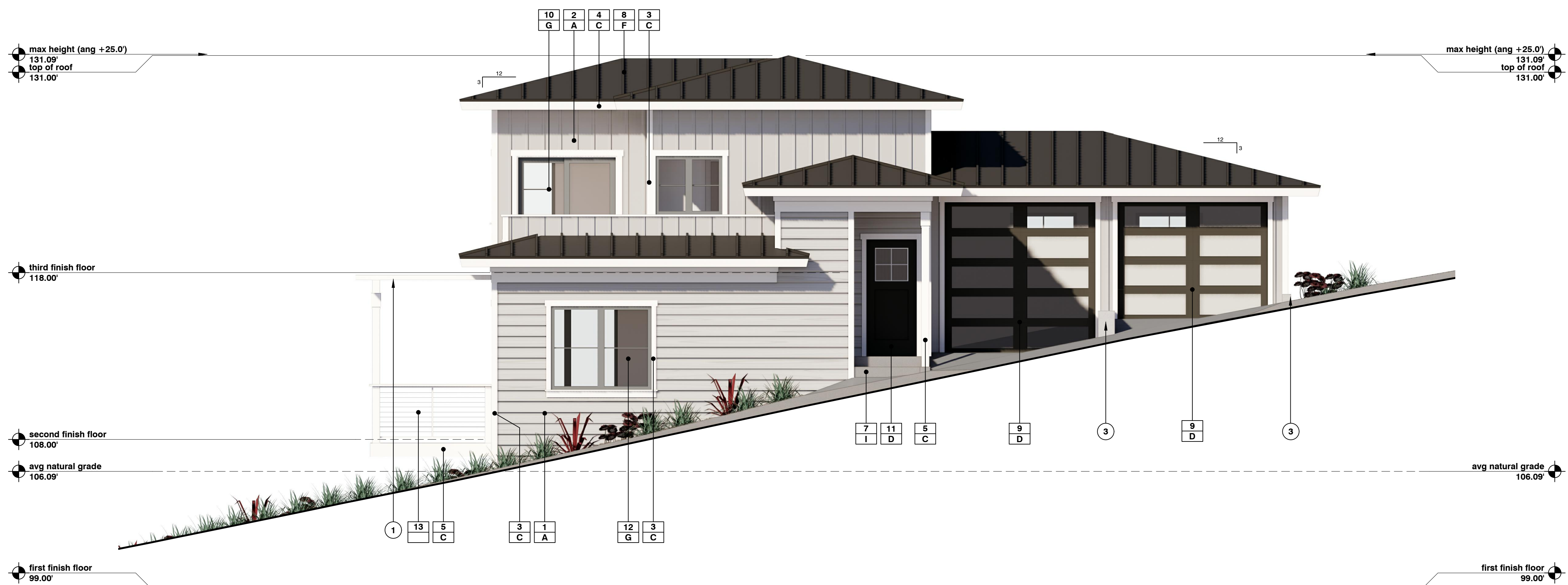
reference note callout

- 1. balcony
- 2. trellis
- 3. site wall

materials + colors

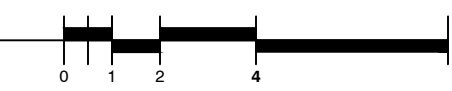
1 material
A color/finish

- | | |
|---|--|
| 1. fiber cement siding, horizontal shiplap | A. paint = light warm gray DEC 786 'miners dust' |
| 2. fiber cement siding, board and 1x batten, 16" o.c. | B. paint = pale slate blue DE 6331 'bay of hope' |
| 3. fiber cement siding, trim | C. paint = rich white DEW 385 'lighthouse' |
| 4. fascia | D. paint = accent |
| 5. timber elements | E. paint = accent |
| 6. wall sconce | F. manufacturer's factory finish dark bronze |
| 7. cast-in-place concrete | G. manufacturer's factory finish 'cadet gray' |
| 8. standing seam sheet metal roof | H. manufacturer's factory finish 'stone white' |
| 9. door, garage | I. natural pigmentation |
| 10. door, patio slider or paired french | J. clear |
| 11. door, hinged | |
| 12. window | |
| 13. steel cable rail | |
| 14. tempered glass rail | |

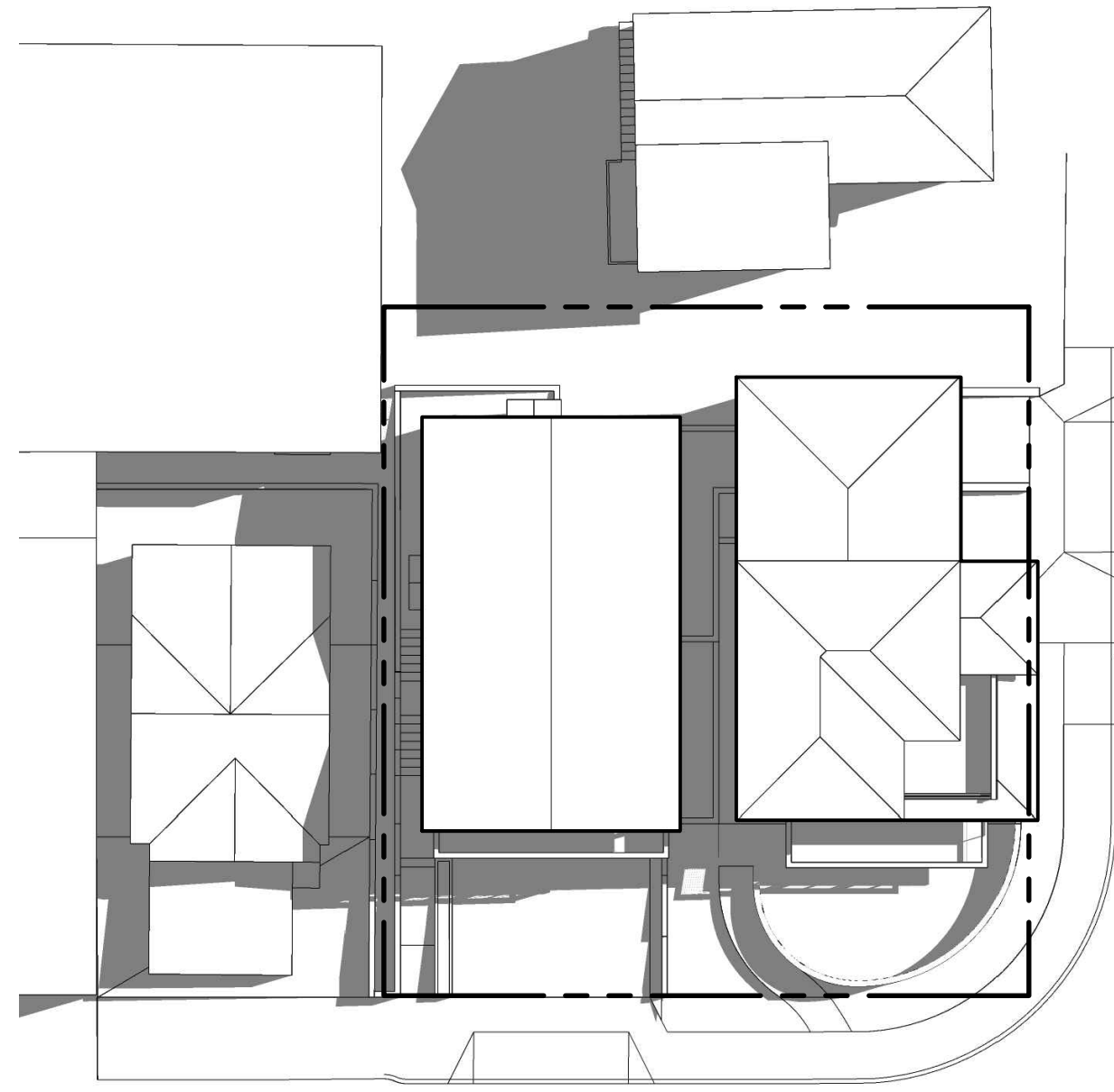


02 residence A east elevation | san antonia street

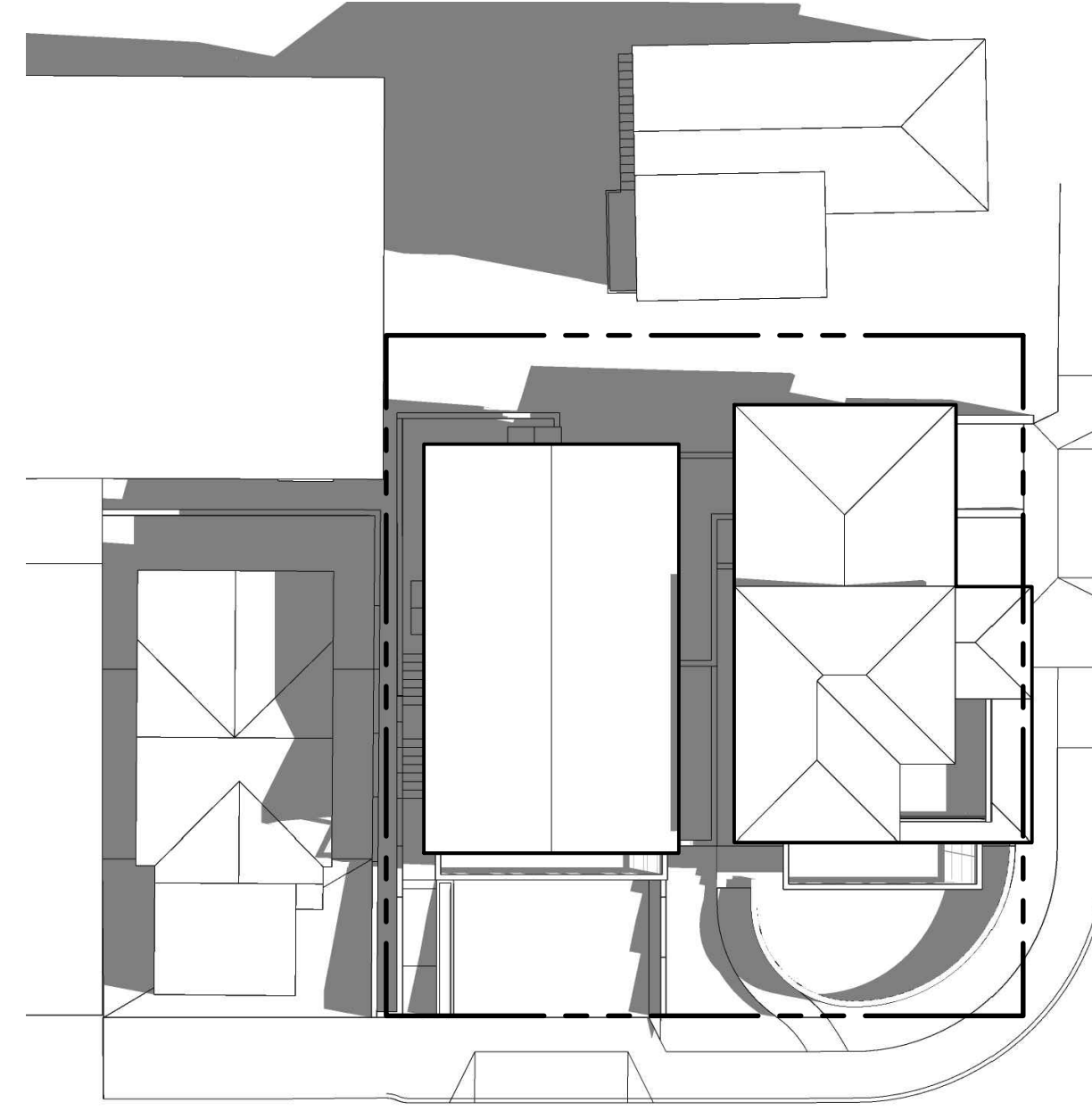
SCALE: 1/4" = 1'-0"



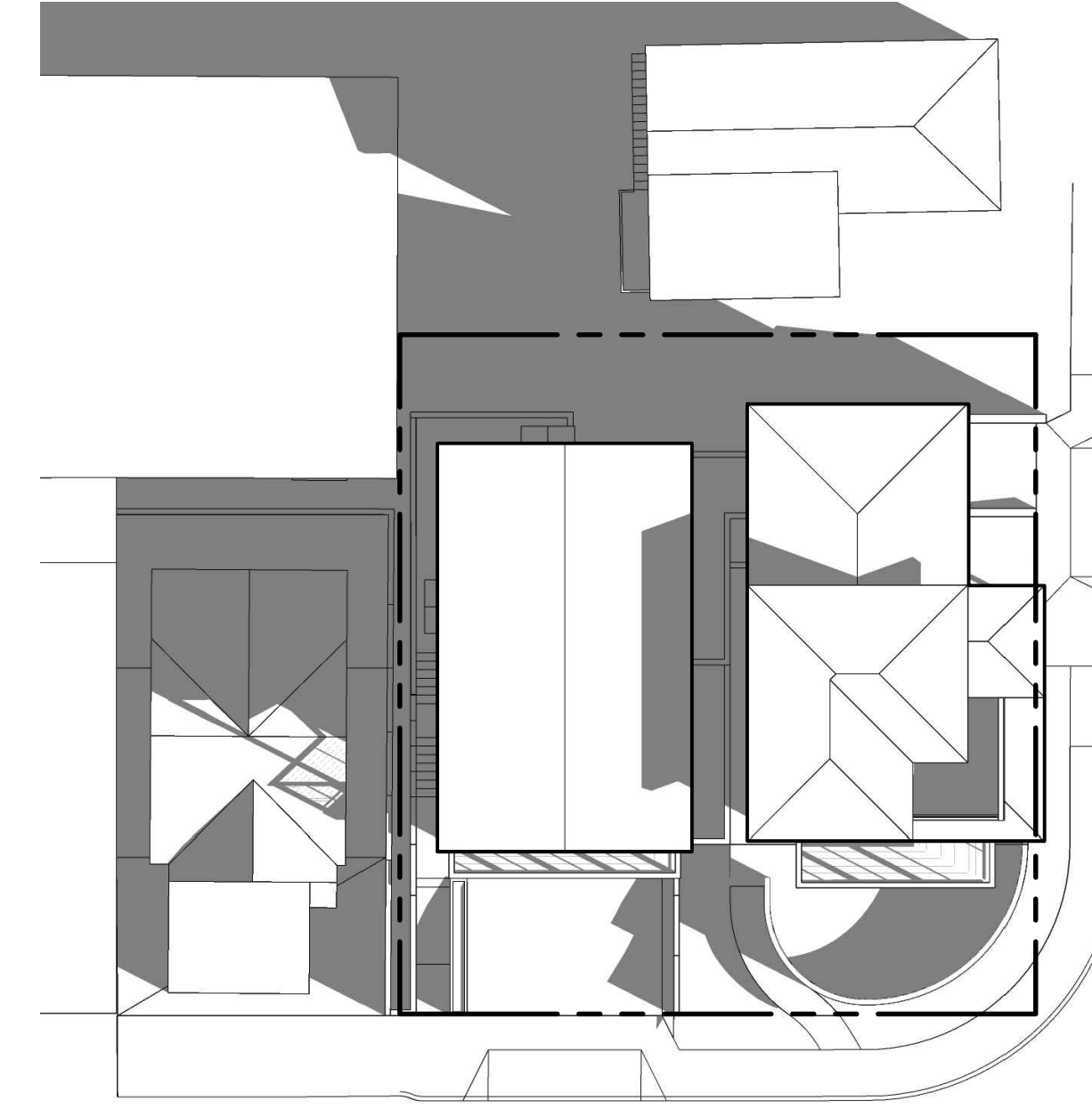
summer solstice



spring + fall equinox



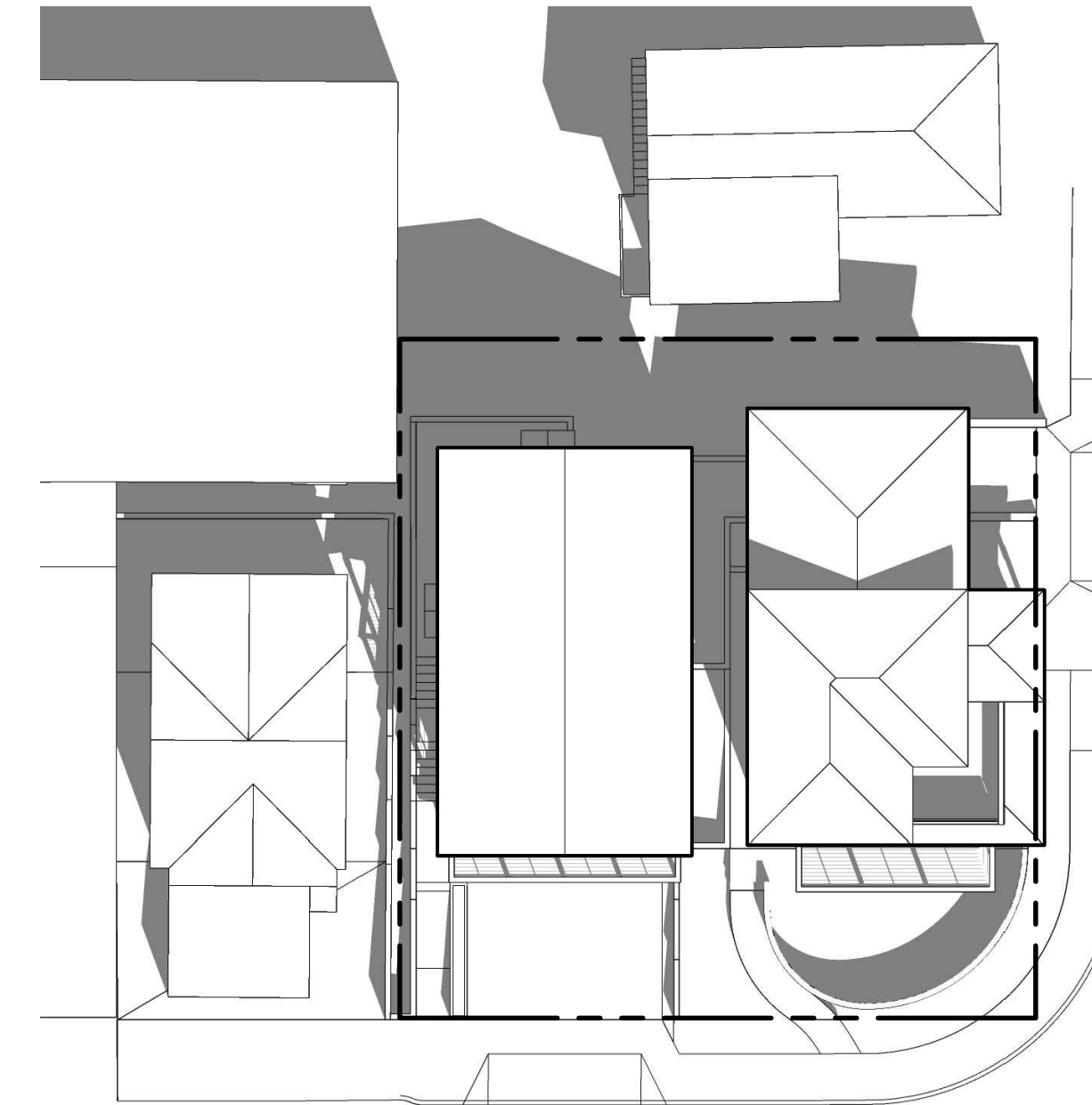
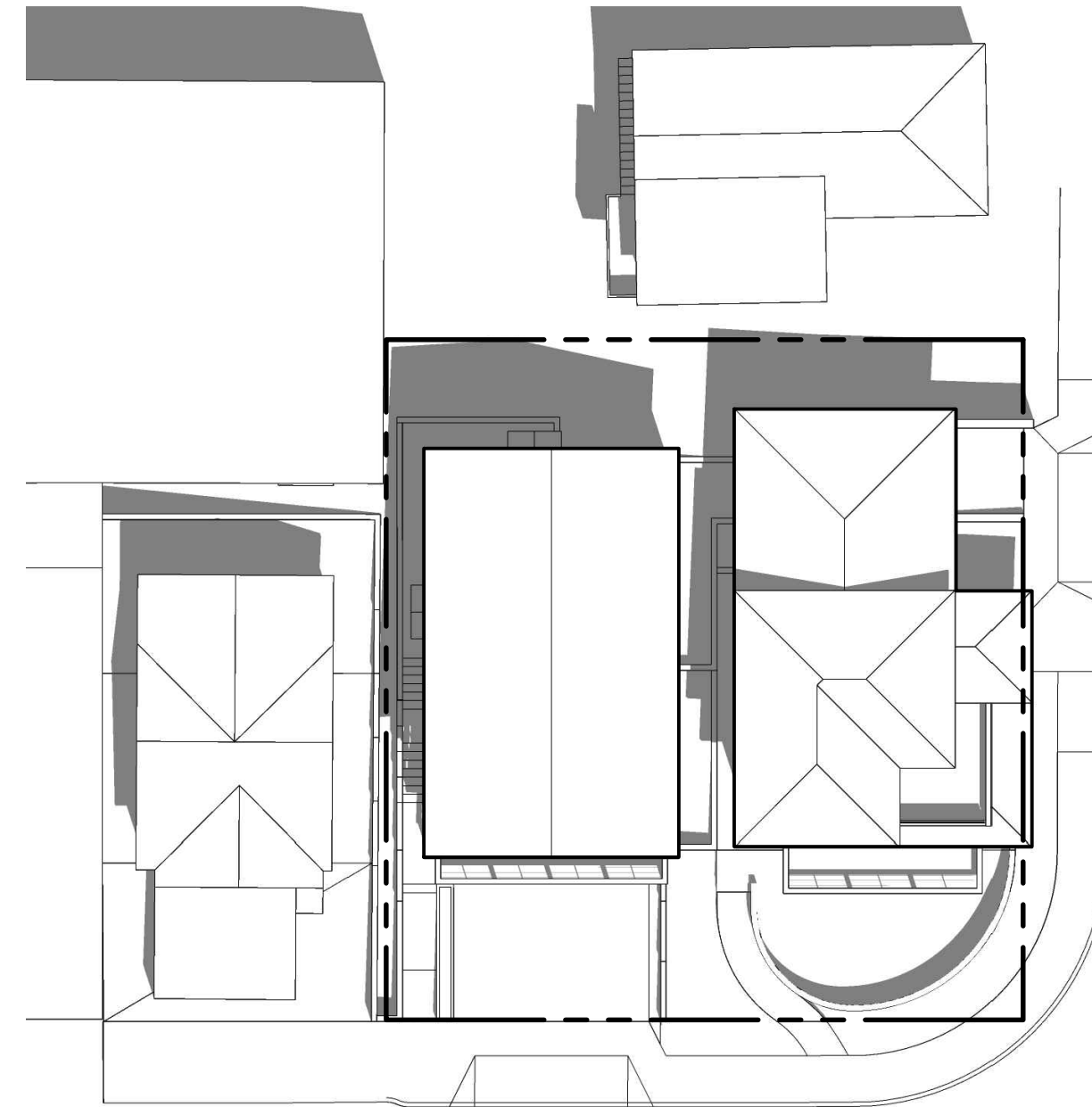
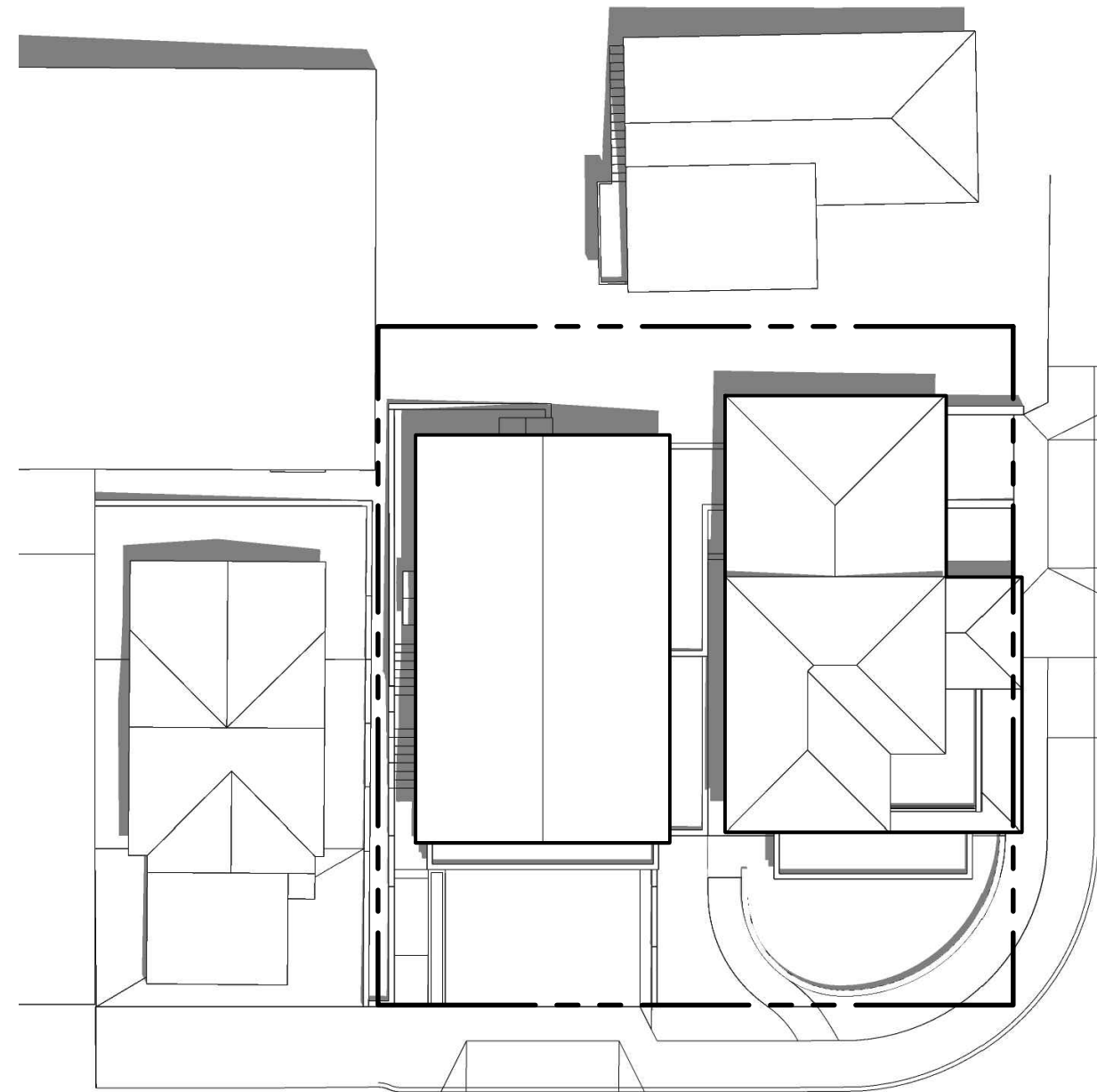
winter solstice



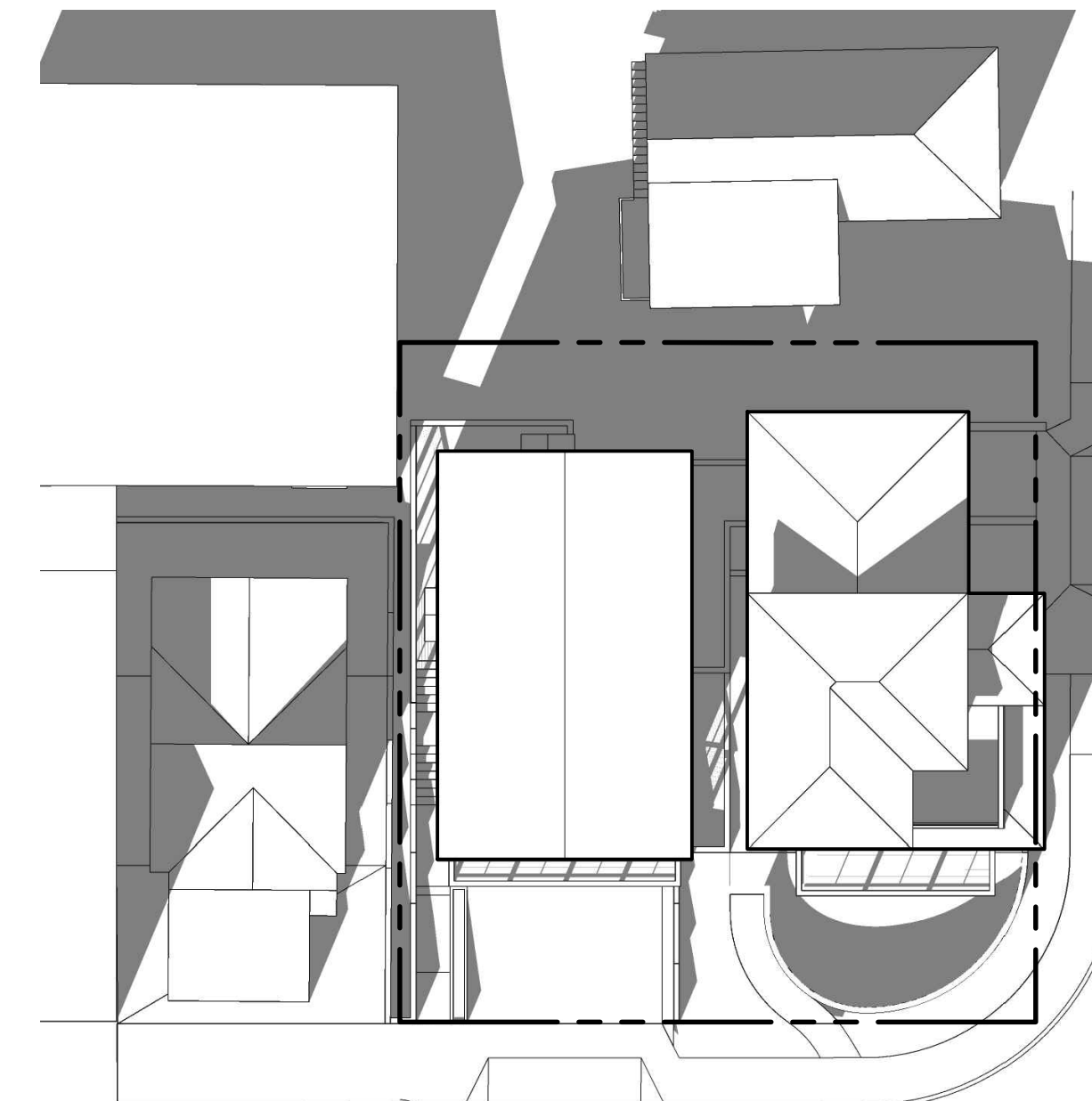
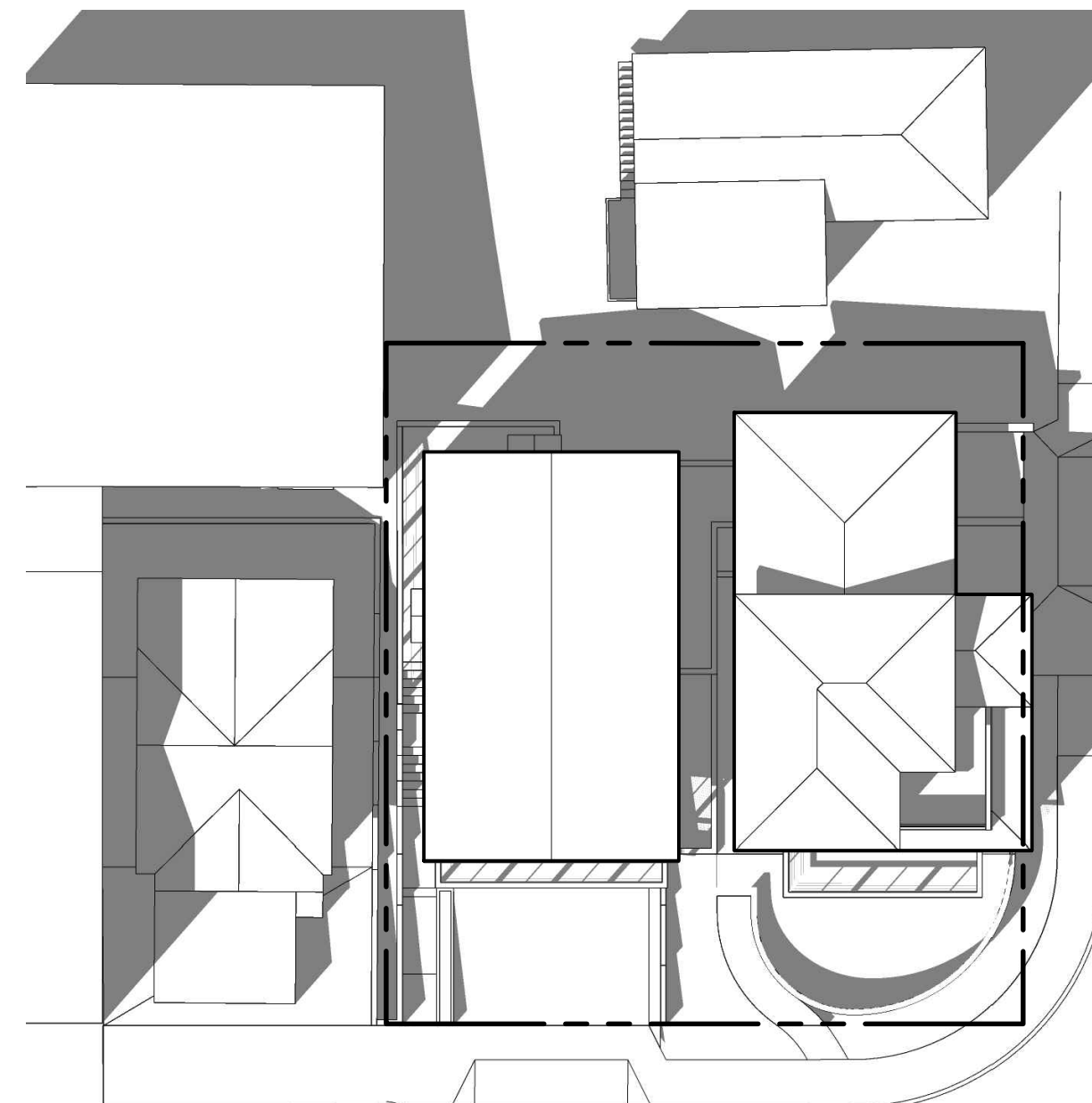
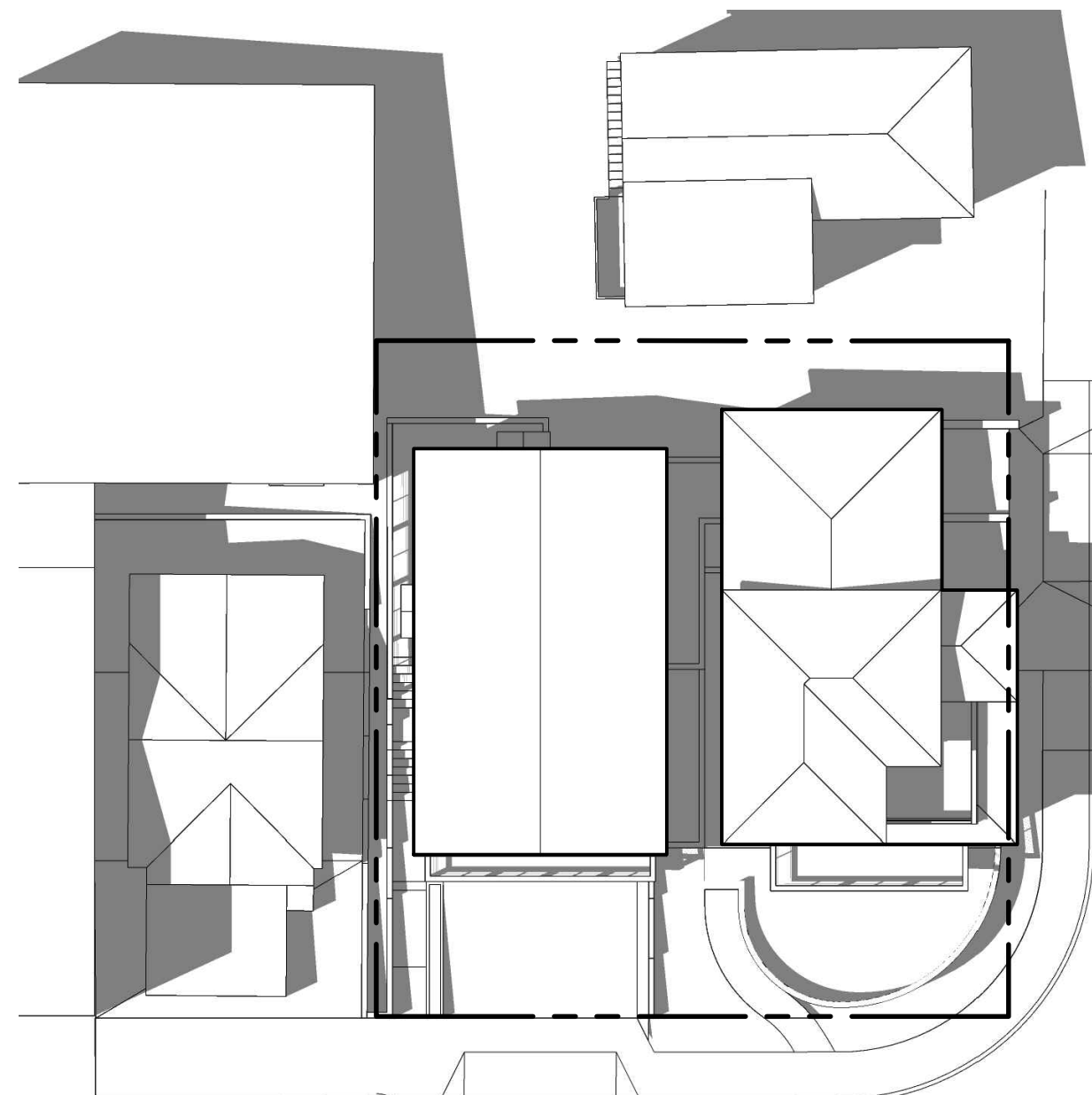
09:00am

SAN ANTONIA STREET

FRONT STREET



12:00pm



03:00pm

bryan ridley, architect
po box 1810
san luis obispo, ca 93408
805.704.0535
bracketarchitecture.com

bracket
architecture office



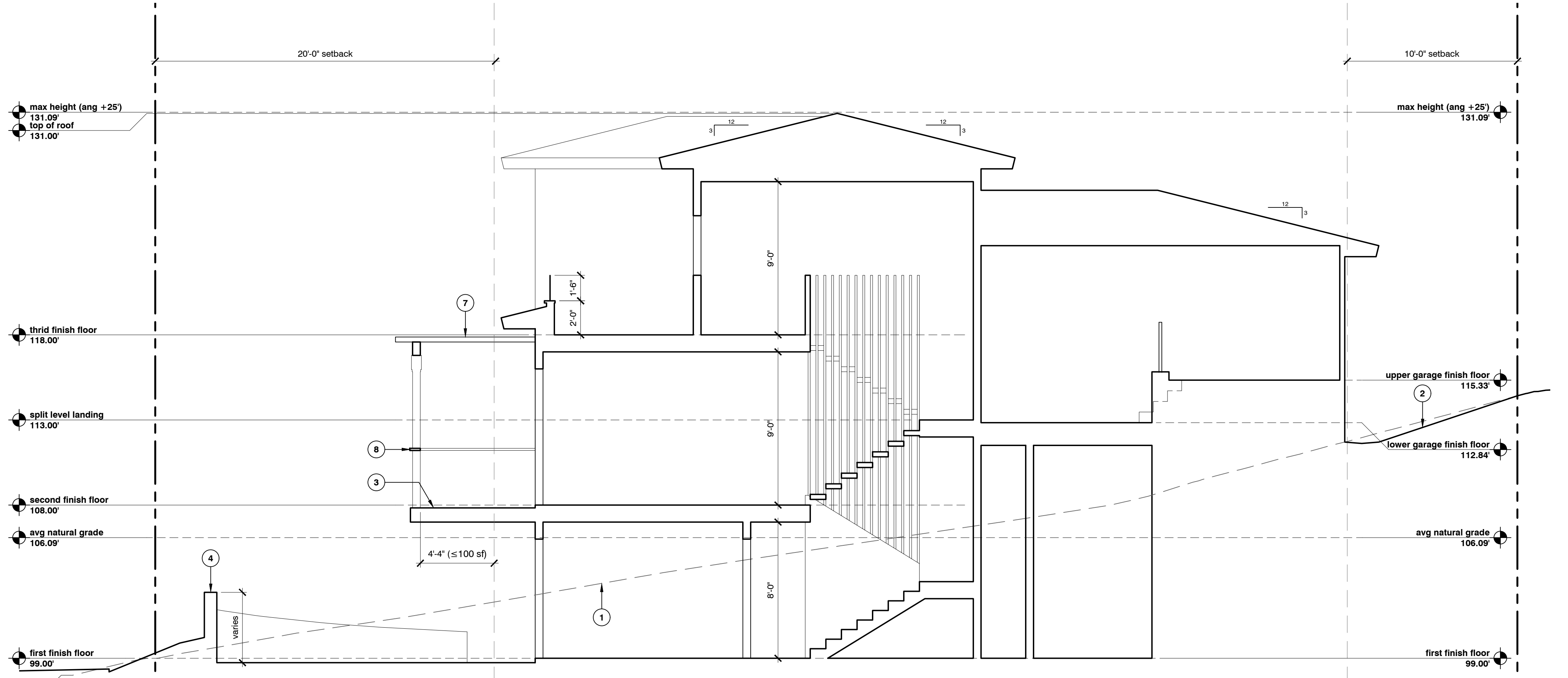
**KEESE
RESIDENCES**
208 front street
avila beach, ca 93424

project AQ251
print 21.01.20
revision

solar study
A3.4

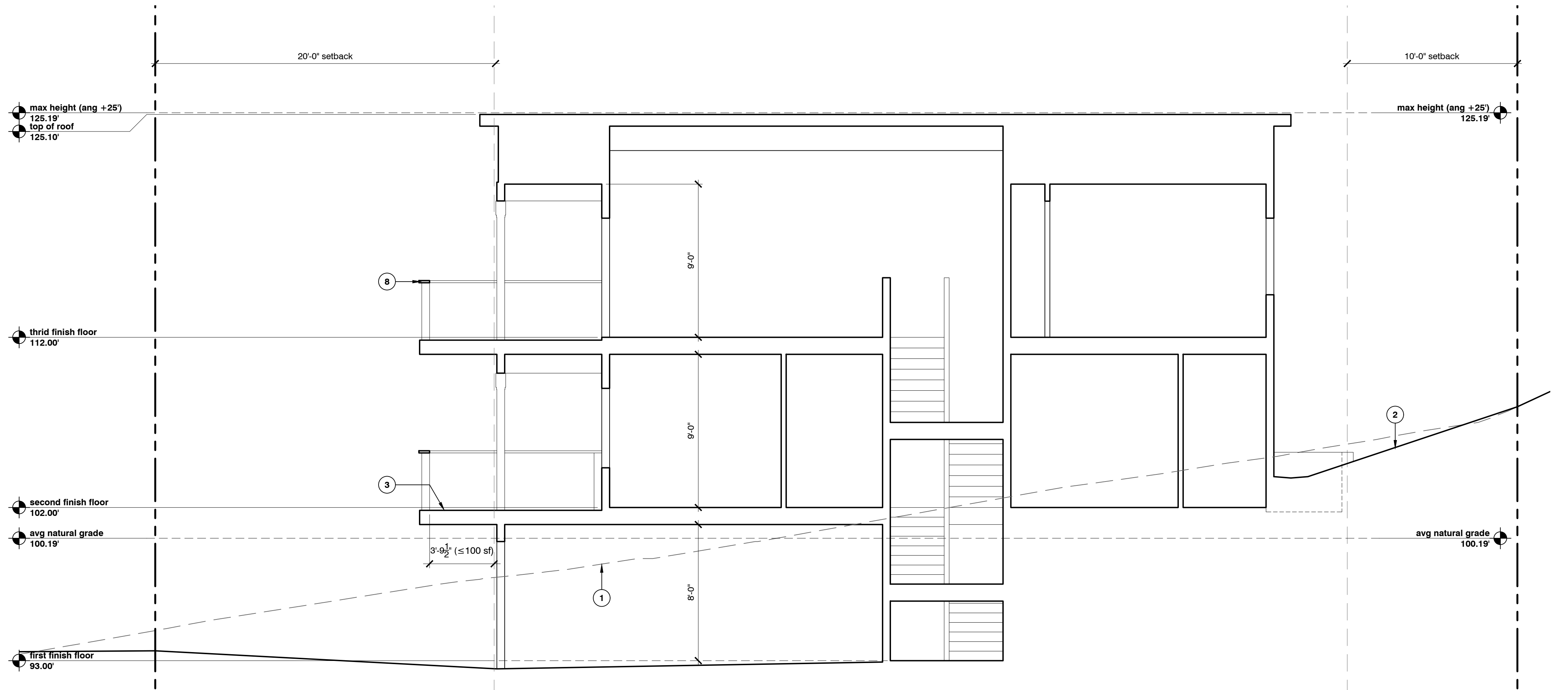
section notes

- # reference note callout
1. line of existing grade at section cut
 2. finish grade per civil drawings
 3. balcony projection
 4. patio wall, height varies
 5. patio at grade
 6. curb, gutter, and sidewalk per civil drawings
 7. trellis
 8. open guard rail



01 longitudinal section residence A

SCALE: 1/4" = 1'-0"



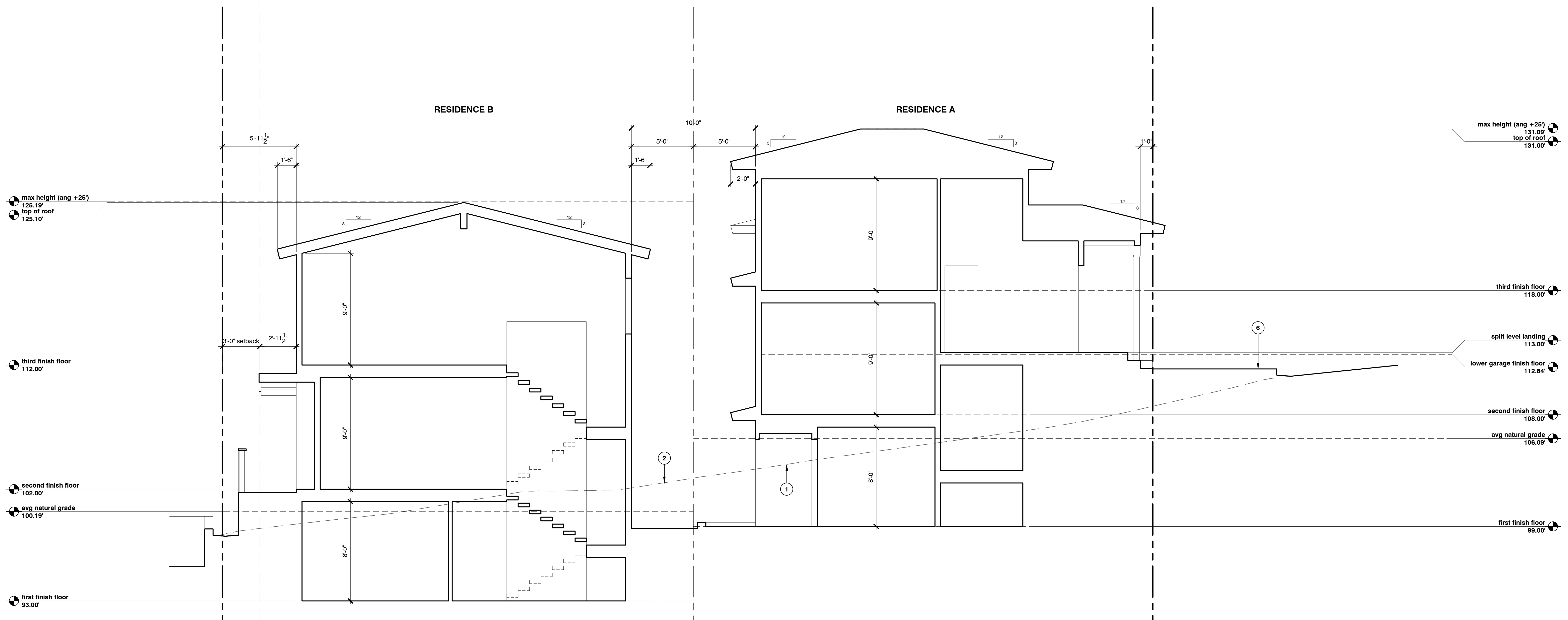
02 longitudinal section residence B

SCALE: 1/4" = 1'-0"



section notes

- # reference note callout
1. line of existing grade at section cut
 2. finish grade per civil drawings
 3. balcony projection
 4. patio wall, height varies
 5. patio at grade
 6. curb, gutter, and sidewalk per civil drawings
 7. trellis
 8. open guard rail



01 transverse site section

SCALE: 1/4" = 1'-0"



KEESE RESIDENCES
208 front street
avila beach, ca 93424

project AQ251
print 21.01.20
revision

sections
A4.2

bracket
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